



Agenda
City Plan Commission Meeting
Municipal Building, 625 52nd Street – Room 202, Kenosha, WI
Thursday, May 9, 2024
5:00 pm

Mayor David Bogdala, Chairperson
Aldersperson Jan Michalski, Vice-Chairperson
Aldersperson Dominic Ruffalo
Aldersperson Rocco LaMacchia
Commissioner Mark Bourque

Commissioner Michael Foster
Commissioner Stephen Retherford
Commissioner Vincent Ruffolo
Commissioner Lydia Spottswood
Commissioner Edwin Stuckey

Call to Order
Roll Call
Citizens Comments

Approval of the Minutes from the Meeting held April 18, 2024

1. Conditional Use Permit for a facade modification located at 4216 52nd Street. (O'Reilly Auto Parts – Final Hearing) (District 10) PUBLIC HEARING
2. Conditional Use Permit extension for a 50-unit apartment complex to be located at 5610 37th Street. (Kenosha Pointe Apartments – Final Hearing) (District 5) PUBLIC HEARING
3. Conditional Use Permit for a 2,567 square foot coffee shop with a drive-thru located at 3355 80th Street. (Starbucks – Final Hearing) (District 14) PUBLIC HEARING
4. Conditional Use Permit for a 144 unity multi-family development located at 19th Street and 22nd Avenue (North Trails Condos - Initial Hearing) (District 5) PUBLIC HEARING
5. Resolution by the Mayor – To approve a two-lot Certified Survey Map for property located at 3002 128th Avenue. (38th Street, LLC) (District 16) PUBLIC HEARING
6. Resolution by the Mayor - To Amend the Official Map for the City of Kenosha, Wisconsin, to include the Attachment of Parcel No(s): 80-4-222-273-0230, 80-4-222-273-0320, 80-4-222-273-0401, and 80-4-222-273-0406 in the Town of Somers, Kenosha County in Wisconsin with the Approved City of Kenosha/Town of Somers Cooperative Plan under Section 66.0307 of the Wisconsin Statutes. (Schutz Container, Property Owner) (District 16) PUBLIC HEARING
7. Request to Initiate the Rezoning of property at 1334 and 1342 50th Street from B-2 Community Business District to RG-2 General Residential District. (City Plan Commission/RACK) (District 7) PUBLIC HEARING

Commissioners' Comments

*IF YOU ARE DISABLED AND NEED ASSISTANCE, PLEASE CALL 653-4030 BY NOON
OF THIS MEETING DATE TO MAKE ARRANGEMENTS FOR REASONABLE ON-SITE ACCOMMODATIONS.*

CITY PLAN COMMISSION
Minutes
April 18, 2024

MEMBERS PRESENT:

Mayor David Bogdala, Alderperson Michalski, Alderperson Ruffalo, Alderperson LaMacchia, Mark Bourque, Michael Foster, Stephen Retherford, Vincent Ruffolo, Lydia Spottswood

MEMBERS EXCUSED: Edwin Stuckey

STAFF PRESENT: Tim Casey, Director, Rich Schroeder, Deputy Director, Brian Wilke, Development Coordinator

The meeting was called to order at 5:00pm by Mayor Bogdala. Roll call was taken and quorum was present.

Citizens Comments - None

A motion was made by Ms. Spottswood, seconded by Alderperson Ruffalo to amend the minutes to adjust wording under Item #1. The motion passed. (Ayes 9, Noes 0)

A motion was made by Alderperson Michalski and seconded by Mr. Ruffolo to approve the amended minutes of April 4, 2024. The motion passed. (Ayes 9, Noes 0)

Items 1 and 2 were read together for public hearing purposes.

- 1. Request for Relief to the off-street parking requirements of Section 6.01 of the Zoning Ordinance for a retail store located at 7531 30th Avenue. (St. Vincent DePaul) (District 13) PUBLIC HEARING**
- 2. Conditional Use Permit for a 5,932 square foot addition located at 7531 30th Avenue. (St. Vincent DePaul – Final Hearing) (District 13) PUBLIC HEARING**

Public hearing opened.

Rodrigo Gutierrez, Kueny Architects, LLC, 1921 12th Place, went over the project. They are looking for approval for two items. First item is for the reduced amount of parking spaces for off-street parking and the second is for approval of the addition. He noted that there was an agreement with the adjacent owner that it was already submitted to Register of Deeds to change the entrance. He was available to answer any questions.

Public hearing closed.

Mr. Wilke went over both Staff reports. Staff recommends granting the relief for the off-street parking spaces and recommends approval of the conditional use permit.

Aldersperson Michalski stated he talked to the Aldersperson of the District, Curt Wilson and he is in support of both items.

Ms. Spottswood asked what direction will the traffic be flowing where the new drop off will be located?

Mr. Wilke stated according to the landscape plan it looks like it will flow from south to north.

Ms. Spottswood asked if it one way traffic?

Mr. Gutierrez stated that it will be one way traffic going towards the back of the building.

Ms. Spottswood asked if they are angling the addition to the building on the southwest corner edge?

Mr. Gutierrez replied correct.

Ms. Spottswood feels that corner may be a traffic hazard and asked what is the width that someone will have to make the turn and then make the second turn?

Mr. Gutierrez stated that is narrow initially but when you get to the angled part it is a covered area and the width is 15 to 16 feet but then it opens again.

Ms. Spottswood stated that the angle right at the corner is a concern. She asked if there was a reason they did not place this further south to make the turn easier?

Mr. Gutierrez stated it would make it even tighter. He explained how the drop off will work.

Ms. Spottswood is requesting that Staff relook at the renderings A204 and A205 as she feels it is a traffic hazard.

Mr. Ruffolo asked if the traffic flow will enter from 30th Avenue or 75th Street to get to the canopy drop off area?

Mr. Gutierrez stated the access is only from 30th Avenue.

Mr. Ruffolo clarified you will not be able to get on 75th Street.

Mr. Gutierrez replied no and explained the traffic pattern.

Mr. Ruffolo asked where is the parking going to be located?

Mr. Gutierrez stated there is an existing parking lot on the north end and the west end. The parking on the east end will be for employees.

A motion was made by Mr. Bourque, seconded by Mr. Retherford to approve Item #1 per staff recommendation. On a roll call vote the motion passed. (Ayes 9, Noes 0)

A motion was made by Aldersperson Michalski, seconded by Aldersperson LaMacchia to approve Item #2 per staff recommendation. On a roll call vote the motion passed. (Ayes 9, Noes 0)

**3. Conditional Use Permit for a facade renovation at the Southport Plaza Unified Business Center located at 6932 Green Bay Road. (Skechers – Final Hearing)
(District 16) PUBLIC HEARING**

Public hearing opened.

RG Keller, W237 S5585 Maple Hill Drive, Waukesha, WI, Keller Architectural Design, LLC, stated they are trying to change the facade for a tenant. The last time this was changed from the previous tenant was in 1995. He went over the materials being used.

Public hearing closed.

Mr. Wilke went over the Staff report -Staff recommends approval of the Conditional Use Permit.

Ms. Spottswood asked if the elevations are consistent with the existing roof line?

Mr. Keller stated maybe a little bit taller, the whole center is about 2500 linear feet. The tenant is looking for a vertical facade instead of a pitched roof currently there.

Ms. Spottswood asked if this is going to be thin wall construction that sits forward and the current roofing drains the way it drains now?

Mr. Keller stated that the current roof will be modified and the drains will come back on the flat roof of the retail space. The alterations will be from the face going back to the building.

Ms. Spottswood is concerned about the Exterior Insulated Finish System (EIFS). With cold area behind it, could cause EIFS to fail.

Mr. Keller stated it has a vapor barrier and a drainage system behind it and it will be fully enclosed and went over the pitch.

Mr. Ruffolo asked if the roof is flat or pitched?

Mr. Keller stated currently the front 8 to 9 feet is a pitched roof.

Mr. Ruffolo asked to what degree?

Mr. Keller replied probably 5 or 6 and 12 and went over how the new roof line will look.

Mr. Ruffolo asked how it will drain?

Mr. Keller stated it will drain to the current flat roof drains.

Mayor Bogdala asked what are the colors for the current pitched roof piece?

Mr. Keller stated that the current roof is a dark green. The shingles on either side will stay. Just the roof piece will be modified.

Mayor Bogdala asked what is the color of the new part of the roof line?

Mr. Keller stated there will be three colors, whitish beige along with the colors the shopping center has which he is not sure of at this time. It is a three color facade system.

Mayor Bogdala asked how is this going to compare to what is already there at the center? How is this going to look from the north side of the center to the south side of the center?

Mr. Wilke stated the green roof is slowly going away with new tenants getting their own identity. There is a color pallet that Southport Plaza is making the architects go through.

Mayor Bogdala asked if there is a way they can see what that is? He would also like to see a side angle to understand the pitch.

Mr. Keller stated that the shopping center gave them the three colors to use and went over the different facades the tenants are using. The center is trying to keep the center full and letting the tenants choose their facade.

Mayor Bogdala feels there should also be some uniformity as well.

Mr. Casey requested Mr. Keller to get the color pallet from the shopping center and he went over the different facades from the tenants currently there.

Alderson Ruffalo stated that all the store fronts look great and the upkeep of the center is fantastic.

Ms. Spottswood stated her comments were less about the aesthetics and more about the structure. Making sure the structure is durable.

Mr. Ruffolo asked Staff if there is a policy or standard that all the store's facades should look a certain way and a certain color? Can they pick and choose between the three colors or is there a standard color?

Mr. Schroeder stated they were established when they originally came into the shopping center with the colors and materials which are repeated throughout the development. Three or four standard colors are used throughout.

Mr. Ruffolo stated that colors can fade and then they can look run down.

Mr. Schroeder stated that would be more of a maintenance issue and then they would be given orders through property maintenance. They have been doing a good job historically on maintaining the property.

Mr. Ruffolo stated he would just like to see it look uniform and went over different looks of other centers.

A motion was made by Alderson LaMacchia, seconded by Mr. Bourque to approve per staff recommendation. On a roll call vote the motion passed. (Ayes 9, Noes 0)

4. Conditional Use Permit for a 158-unit multi-family apartment building located at 56th Street and 7th Avenue. (Kenosha Harbor District Block I – Initial Hearing) (District 2) PUBLIC HEARING

Mayor Bogdala went over the email which was sent by J.R. Buzzell which was emailed to all the commissioners and provided a copy at the meeting.

Public hearing opened.

Justine Sieber, 209 S. Water Street, Milwaukee, WI, Plunkett Raysich Architects, went over the project and was available for questions.

Public hearing closed.

Mr. Schroeder went over the Staff report, this is the initial hearing and they will come back in 30 days for final approval. Staff has noted a few things on the elevations with the windows and some

other things that need to be addressed. By the time it comes back these items should be addressed. Staff recommends establishing the conditions.

Aldersperson Ruffalo asked if there is a timeline on the project?

Scott Yauck, 400 N. Broadway, Milwaukee, Cobalt Partners, stated they want to move as fast as possible, looking at starting in the 3rd quarter.

Aldersperson Ruffalo asked if the whole parcel will be razed?

Mr. Yauck replied yes.

Ms. Spottswood asked about the utilities that need to be addressed.

Mr. Yauck stated that they need to relocate the sanitary sewer.

Mr. Casey stated that a 24" sanitary sewer line runs through the site.

Ms. Spottswood asked if they are letting adjacent property owners know of street closures during the construction?

Mr. Casey replied yes.

Ms. Spottswood asked if they anticipate any disruption to the system?

Mr. Yauck replied no.

Ms. Spottswood stated she is in full support of the project.

Mr. Ruffalo asked who will be managing the 158 apartments?

Mr. Yauck replied that a 3rd party will.

Mr. Ruffalo stated that it is noted 1.3 parking space per unit and asked if that meant they can have a car and 1/2? Some people could have 2 cars?

Mr. Yauck stated some people could have 2 cars or 1 car which will be assigned.

Aldersperson Michalski stated that a previous building was a very tall building as well.

Aldersperson LaMacchia stated this is a beautiful project and has been in the works for some time. He feels this will make Kenosha a better place.

Mayor Bogdala stated he has some concerns on the landscaping on some of the corners.

Mr. Yauck stated they will address these concerns.

A motion was made by Aldersperson Michalski, seconded by Aldersperson Ruffalo to approve per staff recommendation. On a roll call vote the motion passed. (Ayes 9, Noes 0)

**5. Resolution by the Mayor – To Amend Condition #8 of Resolution #140-23 to grant a six-month extension for the recording of a two-lot Certified survey Map for property at 6209 28th Avenue. (JRC Specialty Leasing, LLC) (District 12)
PUBLIC HEARING**

Public hearing opened.

No public comments.

Public hearing closed.

Mr. Schroeder went over the Staff report. Staff recommends approval of the extension.

A motion was made by Ms. Spottswood, seconded by Mr. Retherford to approve per staff recommendation. On a roll call vote the motion passed. (Ayes 9, Noes 0)

6. Request to initiate the rezoning of various properties located in the City of Kenosha in accordance with the Federal Emergency Management Agency Flood Insurance Rate Maps with an effective date of April 11, 2024 (FEMA) (District 1) (District 2) (District 3) PUBLIC HEARING

Public hearing opened.

No public comments.

Public hearing closed.

Mr. Schroeder went over the Staff report. Staff is asking the Plan Commission to initiate the rezoning so these areas can be placed on the zoning maps. This will come back at the next meeting to move forward with the public hearings.

Ms. Spottswood stated she feels homeowners will need to know if there will be use restrictions for their property, if this will affect their insurance rates and what can be expected on impact of assessed evaluation? City needs to provide notices to the homeowners and would like to see this pushed out a month.

Mayor Bogdala stated in the past there were district meetings and asked Staff what is the timeline when this is needed to get back to FEMA?

Mr. Schroeder stated that the Ordinance has already been adopted and FEMA has already adopted the map. This is just for putting this on our zoning map.

Mayor Bogdala asked if the homeowners were notified of that change?

Mr. Schroeder stated that FEMA went through their normal process of publishing notices in the newspaper. The areas we are talking about are the coastal areas and they already have a flood designation on them. FEMA has a new coastal zone that they created. From a use standpoint it does not change anything. There are no residential structures being impacted. There may be some accessory structures such as a shed. He went over how Carthage College handled this process. Basically FEMA is looking at wave action on the Great Lakes.

Mayor Bogdala is asking for a deferral on this item and hold a neighborhood meeting to go over all the information Rich provided with the property owners.

Aldersperson Michalski feels there needs to be a meeting with the Plan Commission, Staff and property owners.

Aldersperson LaMacchia stated he feels a separate neighborhood informational meeting needs to be held and not be a part of the City Plan Commission meeting.

Mr. Retherford feels a neighborhood meeting is needed.

Mr. Ruffolo asked if FEMA and the DNR are in agreement?

Mr. Schroeder stated they both signed off and the maps are effective.

Mr. Ruffolo stated he would also like this deferred for 60 days. He feels the notification to the homeowners should not be done by the newspaper.

Ms. Spottswood wants to make sure the new drainage system that was installed at the Southport Beach House is not affected by this.

A motion was made by Alderperson Michalski, seconded by Alderperson LaMacchia to defer up to 60 days. The motion passed. (Ayes 9, Noes 0)

Commissioners Comments -

Mayor Bogdala wanted to welcome back all the commissioners that have been here over the years. He would like to welcome the new commissioners, Alderperson Ruffalo and Alderperson LaMacchia.

Alderperson Michalski welcomed the new Alderpersons to the City Plan Commission.

A motion to adjourn was made by Alderperson Michalski and seconded by Alderperson LaMacchia. The motion passed. (Ayes 9, Noes 0) The meeting adjourned at 5:58 pm.

Certification that the minutes have been approved by the City Plan Commission.

Rich Schroeder, Deputy Director of City Development

Meeting Minutes Prepared by: Laurie Bauman, City Development

Conditional Use Permit for a facade modification located at 4216 52nd Street. (O'Reilly Auto Parts – Final Hearing) (District 10) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Kennedy, District 10, has been notified. Aldersperson Pizzala, District 11, was also notified as his District is within 100 feet of the project site. The City Plan Commission is the final review authority.

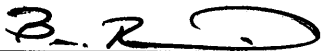
LOCATION AND ANALYSIS:

Site: 4216 52nd Street

1. This item was heard by the City Plan Commission on April 4, 2024, and the Conditions of approval were established at that meeting.
2. The applicant is proposing facade modifications and site improvements at the existing vacant site at 4216 52nd Street. This site is the former Save-a-Lot grocery store.
3. The facade improvements include a revised entry feature over the primary entrance and new paint on the building. The current material is EIFS and the applicant is proposing to use EIFS for the modification. Staff recommended that the entryway facade up to the top of the window line should be upgraded with a masonry material like brick to match the building. The applicant agreed to this at the meeting and the condition of approval was established.
4. The applicant has also proposed site improvements to include landscaping islands in the parking lot and a revised parking layout.
5. Consistent with the approval for Kenosha County Human Services on 52nd Street, Staff is recommending a condition of approval that requires the applicant to dedicate twenty feet (20') of right-of-way for the future expansion of 52nd Street.
6. The applicant may need to request relief to the minimum number of off-street parking spaces when the parking lot is reconfigured to accommodate the right-of-way dedication. Staff would support relief as an auto parts store is generally a lower impact use in relation to parking stalls required.
7. There are no current or pending building or zoning code violations on the property.
8. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.
9. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
10. A Class II Notice has been published. The formal public hearing can be held and the review authority can take final action on the Conditional Use Permit at this meeting.

RECOMMENDATION:

A recommendation to approve the Conditional Use Permit, subject to the attached conditions of approval.



Brian Wilke, AICP, Development Coordinator



Rich Schroeder, Deputy Director



REVISED
Conditions of Approval
O'REILLY AUTO PARTS
4216 52ND STREET
APRIL 4, 2024

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of City Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain a Parking Lot permit from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. The existing pylon sign must be removed and the site will be permitted one monument sign.
 - d. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval. Minor changes may be approved by the City Plan Division.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. The applicant shall meet all applicable Conditions of Approval and obtain a construction permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - j. Outdoor display of products is prohibited.
 - k. All vehicles shall be parked within designated paved areas.
 - l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - m. Cross access shall be provided to adjacent parcels, if required, at a future date by the City.

- n. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans
 - o. The General Contractor shall keep the active construction site secured at all times. The General Contractor shall maintain a list of all sub contractors working on the active site and their respective trades and make that list available to the City upon request. The General Contractor shall provide any necessary safety training to all sub contractors on the active construction site and maintain and update the list as it changes.
 - p. The Assessor's Office will require actual costs on the project to be submitted prior to their office signing off on any occupancy permit(s). The costs supplied should include: all improvement costs to the raw land (retention, site elevation work, site ingress/egress work, etc.), all materials and labor associated with construction of the building, all materials and labor associated with site improvements (asphalt/concrete work, site lighting, site landscaping, etc.), and all developer's profit. In terms of the detailed project cost, one document you may have is Form AIA G702. This form provides the detail that our office is looking to acquire.
 - q. The Assessor's Office will formally request a lease(s) for the property, if applicable, at time of occupancy. It should be noted with owner/developer that "No person may object to a valuation; if that valuation was made by the assessor or the objector using the income method; unless the person supplies to the assessor all of the information about income and expenses, as specified in the manual under s. 73.03 (2a), that the assessor requests. " Wis Stat 70.47(7)(af)
 - r. Abutting public sidewalks in need of repair or damaged during construction shall be replaced. Damaged sidewalk criteria is defined in General Ordinance 5.116 Sidewalk Inspection and Replacement Policy and Procedure.
 - s. Compliance with the Operational Plan.
2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
- a. Prior to the issuance of any permits, a Deed Restriction or Restrictive Covenant approved by the City Attorney shall be recorded with the Kenosha County Register of Deeds stating that the property shall remain fully taxable for ad valorem tax purposes, including, but not limited to, real and personal property taxes and will not be subject to any exemption or exception to taxation unless otherwise agreed to by the City. The Deed Restriction or Restrictive Covenant shall be recorded at the applicant's expense, shall run with the land and shall be enforceable by the City against the owner and the owner's successors, assigns, and successors in title, including any tenants. The recording fee for the Deed Restriction or Restrictive Covenant shall be submitted by the applicant.
 - b. Prior to the issuance of any permits, the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fee for the Conditional Use Permit shall be submitted by the applicant.
 - c. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility memo dated March 15, 2024.
 - d. The items in the Fire Prevention Bureau memo dated March 15, 2024 shall be addressed.

- e. An additional twenty feet (20') of Right-of-Way must be dedicated abutting 52nd Street. The Site Plan and Landscape Plan must be updated to reflect the required right-of-way dedication. Interior Lawn Park landscaped area shall begin at the updated right-of-way line. All improvements, including the existing freestanding sign must be removed from the new right-of-way area.
- f. Provide site lighting photometric layout plan along with typical detail for pole and fixture. Illumination shall meet the minimum standards of the Illuminating Engineering Society of America and the allowable light spillover at the property line abutting residential properties shall be 0.50 maximum foot candles and for non-residential properties 0.75 average foot candles.
- g. Landscape islands need to be 8-foot wide with barrier type curb, and shall include at least one 2 ½-inch deciduous caliper tree.
- h. Include these notes on the erosion control sheet:
 - a. Excess soils are to be hauled off site or enclosed with an approved sediment control device within 24 hours.
 - b. Soil piles left undisturbed for 7 or more days will need to be stabilized by an approved method.
 - c. All disturbed areas not covered by permanent structures or pavement shall be finished graded with 3"-6" topsoil, seeded and stabilized within 7 days of reaching final grade.
- i. Provide copies of cross access easements between the subject parcel and parcel number 08-222-35-177-006.
- j. A six foot (6') tall solid fence must be installed along the property's north lot line abutting the existing residential uses.
- k. Off-street parking must be provided in accordance with Section 6.0 of the Zoning Ordinance. Provide a breakdown of the area of the building dedicated to retail sales and the area of the building dedicated to warehousing. If the required minimum number of off-street parking spaces is not provided, the City Plan Commission must grant relief.
- l. The columns at the entry feature must be revised to show a masonry material other than EIFS from the ground to the top of the window line.
- m. A trash enclosure must be constructed around the proposed dumpster location. The sides must be wood or masonry, and the gate must be wood or chain-link with privacy slats.
- n. Additional building articulation shall be provided on the west building elevation.

Engineering Services

4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315



Providing and Protecting Kenosha's Greatest Natural Resource

MEMO

To: Brian Wilke, Development Coordinator

From: Leif Jackson, Water Engineer

Date: March 15, 2024

Subject: O'Reilly Auto Parts - Tenant Improvement of Existing Space

Location: 4216 52nd Street

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted:

1. Per KWU records, the existing one-and-a-half inch (1.5") water meter does not have the required meter by-pass. Therefore, the water metering setup needs to be reconfigured in order to ensure compliance with modern standards. Please include a water meter detail which reflects the following information:
 - **Basic Requirements** – Water meters are to be permanently housed in a climate controlled environment. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12" to 24") above the floor. The meter shall have full brass body ball valves on the inlet and outlet pipe.
 - **By-Pass** – All water meters one and one half inches (1.5") or greater shall have a bypass with a two-way ball valve with locking handle. Meters one and one half inches (1.5") shall have Jomar Tamperproof Locking Devices; all meters greater than one and one half inches (1.5") shall have an American Valve, Model 3700 Flanged Ball Valve with Tamperproof Locking Device, or approved equal.

Please coordinate the installation with Marco Giese from KWU's meter shop, who can be reached at (262) 818-4168. Note that his sign-off on the metering setup will be tied to KWU's signoff on Occupancy for the Project.

2. Please confirm that the existing six inch (6") combination domestic/fire protection line is sufficient for the Development and the neighboring property (*4212 52nd Street*), which utilizes the same line. Additionally, please confirm with a plumber that the existing one-and-a-half inch (1.5") water meter is adequate for the Development.
3. The water and sanitary utilities for 4212 52nd Street cross this parcel and connect to private utilities serving both the Project Site and this neighboring parcel. On Sheet C1, the Existing Conditions Survey, a "Sewer Easement" near these utilities is identified; however, KWU was unable to locate this easement through a standard title search. Please provide a copy of this easement or the Document Number related to the easement. Note that this easement does not appear related to the thirty foot (30') Utility Easement near 4209 50th Street (*Document Number 1178771*). If an easement/maintenance agreement is not able to be located, a new easement/maintenance agreement must be recorded to the property through this Project.
4. Along the southern frontage of the Project Site, near the 52nd Street parkway, there are proposed plantings including three larger imperial honeylocust trees. Please note that there are existing water and sanitary sewer stubs installed in this parkway. Please show the utilities on the plan and confirm there is a minimum five feet (5') of separation between any proposed tree and these utilities.

Feel free to contact me with any questions, comments, or concerns.

CC: Curt Czarnecki, P.E., General Manager
Ian Bagley, P.E., Director of Engineering Services

Kenosha Fire Department
2121 Roosevelt Rd
Kenosha, WI 53143

Phone (262) 653-4100
Fax (262) 653-4107



JACOB WALDSCHMIDT
Division Chief
Fire Prevention Bureau

KEITH AULDS
Inspector

Fire Prevention Bureau C.U.P./Site Development Plan Review Form

Date: 3/15/2024
Project: O'Reilly Automotive
Address: 4216 52nd Street

The City of Kenosha Fire Department Fire Prevention Bureau performed a plan review on the above property. Please see comments below and do not hesitate to contact us with questions.

Bold one:

- Approved – No Comments
- **Approved – See Comments Below**
- Withhold Permits- Subject to Items Below
- Approval Denied – See Comments Below

Comments:

1. Automatic Fire Sprinkler System Required:

Plans and specifications shall accompany each submittal, including all applicable plan review and acceptance testing fees. Plans will be reviewed and conditionally approved by the Fire Prevention Bureau. All sprinkler systems require a permit issued by the Department of Neighborhood Services and Inspections prior to the start of any work. The Kenosha Fire Department shall witness all field and acceptance testing.

2. Fire Department Connections:

Every Automatic Fire Sprinkler System shall have the following:

a. A Fire Department Connection. The Fire Department Connection shall be operationally connected to the Automatic Fire Sprinkler System. The Fire Department Connection shall have a five (5") inch Storz connection.

Kenosha Fire Department
2121 Roosevelt Rd
Kenosha, WI 53143

Phone (262) 653-4100
Fax (262) 653-4107



JACOB WALDSCHMIDT
Division Chief
Fire Prevention Bureau

KEITH AULDS
Inspector

The Fire Department Connection shall be located to comply with all of the following: no further than 100 (100') feet from a fire hydrant. There may not be any obstruction between the fire hydrant and the Fire Department Connection that would impede a firefighter's access to the Fire Department Connection, or that would inhibit the operation of a hose extending from the fire hydrant to the Fire Department Connection.

b. Access to FDC. Access to the FDC on the building will need to be provided. Currently, there are no stairs or ramp to get to the FDC.

c. Knox Box Locking Cap Covers. All Fire Department Connections, regardless of when installed, shall be occluded by a Locking Cap capable of being removed by appropriate Key Wrenches carried by the Fire Department. Due to the need for consistency and efficiency in emergency situations, and due to the proprietary nature of Key Wrenches, the Fire Department may specify a certain manufacturer or a limited number of manufacturers that provide Locking Caps removable by a particular Key Wrench configuration. Contact the Fire Department for specifications.

d. Signage. All Fire Department Connections will be labeled on the building or pumper pad; signage to be approved by the Bureau.

3. Building & Door Numbers:

Building address number size and man door number size shall be approved by the FPB AHJ prior to installation on the building.

4. Knox Box Required:

A Knox Box shall be required on all buildings, multiple may be needed on larger buildings, per 3.30 (C) of the City of Kenosha Ordinance.

5. EXIT SIGNS IN PROXIMITY OF FLOOR

Floor proximity exit signs as required per 3.27 of the City of Kenosha Ordinance. In the office sections of the buildings.

6. Fire Alarms Required:

Fire alarms shall be required in all buildings on the plan. All alarms will be individually monitored by the address of the building. Fire alarm plans shall be reviewed and permitted through the Fire Prevention Bureau. Upon completion of the building final testing of the system shall be completed before final occupancy of the building is gained.

Kenosha Fire Department
2121 Roosevelt Rd
Kenosha, WI 53143

Phone (262) 653-4100
Fax (262) 653-4107



JACOB WALDSCHMIDT
Division Chief
Fire Prevention Bureau

KEITH AULDS
Inspector

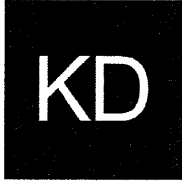
7. City of Kenosha Requirements: All requirements are in accordance with Kenosha Code of Ordinances-Chapter 3 and State of Wisconsin SPS 314.

Reviewed by:

Jacob Waldschmidt

Kenosha Fire Department





Kinetic Design

29833 Santa Margarita Suite 300
Rancho Santa Margarita 92688
951.710.6334

Craig Blume
Architect
Kinetic Design, Inc.
29833 Santa Margarita Parkway, Suite 300
Rancho Santa Margarita, CA 92688
cblume@kineticdesign.net
949 860-9942
3/26/2024

Brian Wilke
Development Coordinator
City of Kenosha
625 52nd Street – Room 308
Kenosha, WI 53140

RE:

O'Reilly Auto Parts
4216 52nd Street
Kenosha, WI 53144

Dear Brian,

I hope this letter finds you well. As a dedicated member of the O'Reilly Auto Parts development team, I am pleased to provide an overview of business operations, focusing on key operational aspects:

1. Store Hours:

- Our store operates from Monday to Saturday, with timings from 7:30 am to 9:00 pm.
- On Sundays, our store is open from 9:00 am to 9:00 pm, catering to the convenience of our customers throughout the week.

2. Employee Shifts:

- We maintain a staff of 16 employees per shift to ensure efficient service and support for our customers during operational hours.

3. Waste Management:

- All waste generated from our operations is disposed of in a typical trash dumpster.
- Our trash dumpster is emptied by the local refuse company on a weekly basis, ensuring cleanliness and compliance with waste disposal regulations.

4. Parts Delivery:

- We facilitate approximately 8 small pick-ups daily to deliver parts to local mechanics, ensuring timely availability of automotive components for their needs.

5. Vehicle Maintenance Policy: - Please note that no vehicle maintenance is to be performed on-site, except for minor battery changes and windshield wiper replacement. - We strictly adhere to this policy to ensure the safety

of our customers and employees, as well as to maintain focus on our core business of providing automotive parts and accessories.

At O'Reilly Auto Parts, we prioritize operational excellence and customer satisfaction in every aspect of our business. By adhering to rigorous operational standards and practices, we aim to provide a seamless and rewarding experience for our customers and stakeholders alike.

Thank you for your attention to these operational details. Should you have any further inquiries or require additional information, please feel free to contact me.

Sincerely,

Craig Blume

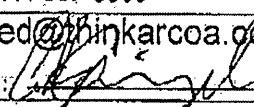


This application and all plan review documents **must** be submitted through the City of Kenosha's online plan review portal:

kenosha.geocivix.com/secure/

APPLICATION FOR DEVELOPMENT REVIEW Forms #CD301 thru #CD310 (rev. 2/24)

This page required with every application or the application will be deemed incomplete.

MAILING INFORMATION		
NAME OF PROJECT: <u>O'Reilly Auto Parts</u>		
<i>The property owner will receive all correspondence. The Applicant and Architect/Engineer will be copied on correspondence. Owner signature required.</i>		
Name and Address of Property Owner (Please print):		
<u>ARCOA Group Capital, LLC</u>	Phone: <u>414-397-3988</u>	
<u>ATTN: Ed Spriegel</u>	E-Mail*: <u>ed@thinkarcoa.com</u>	
<u>3300 Washington St</u>	Signature*: 	
<u>Waukegan, IL 60085</u>		
Name and Address of Applicant (if other than Property Owner) (Please print):		
<u>O'Reilly Automotive Stores, Inc.</u>	Phone: <u>417-862-2674 ext. 65442</u>	
<u>Attn: Trish Kugle, Jim Riggs</u>	E-Mail*: <u>pkugle@oreillyauto.com</u>	
<u>233 S. Patterson</u>		
<u>Springfield MO, 65802</u>		
Name and Address of Architect / Engineer (Please print):		
<u>Kinetic Design, Inc.</u>	Phone: <u>951-710-6334</u>	
<u>Attn: Steve Appel or Craig Blume</u>	E-Mail*: <u>cbblume@kineticdesign.net or eappel@kineticdesign.net</u>	
<u>29833 Santa Margarita Parkway Suite 300</u>		
<u>RSM CA, 92688</u>		
PROJECT LOCATION		
Location of Development (street address and / or parcel number): <u>4216 52nd Street</u>		
TYPE OF LAND DEVELOPMENT		
Check all that apply. Note: Additional information may be required within individual Sections.		
<input checked="" type="checkbox"/> Certified Survey Map #CD301 <input checked="" type="checkbox"/> Concept Review (Land Division) #CD302 <input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) #CD303 <input checked="" type="checkbox"/> Conditional Use Permit #CD304 <input checked="" type="checkbox"/> Developer's Agreement #CD305 <input checked="" type="checkbox"/> Final Plat #CD306 <input checked="" type="checkbox"/> Lot Line Adjustment Survey #CD307 <input checked="" type="checkbox"/> Preliminary Plat #CD308 <input checked="" type="checkbox"/> Rezoning #CD309 <input checked="" type="checkbox"/> Site Plan Review #CD310	Section 1 Section 2 Section 3 Section 4 Section 5 Section 6 Section 7 Section 8 Section 9 Section 10	Page 3 Page 4 Page 5 Pages 6 & 7 Page 8 Pages 9 & 10 Page 11 Pages 12 & 13 Pages 14 & 15 Pages 16 & 17
Prior to submitting this Application to the Department of City Development, please review the appropriate sections for fees, requirements and appropriate appendices. Submit this cover page, completed application, applicable section(s) and appendices along with <u>ALL</u> required plans and information to the online plan review portal.		
Submit fees (cash or check payable to the City of Kenosha) to the Department of City Development, Room 308.		

*All applications for City Plan Commission / Common Council must include an email address and property owner signature. Staff report and agenda will be forwarded to the email address included in this application.



P: 262-653-4030
E: idtcd1@kenosha.org

625 52nd Street, Kenosha, WI 53140
www.kenosha.org

Project Overview

#1265961

Project Title: O'Reilly Auto Parts - Tenant Improvement of Existing Space

Jurisdiction: City of Kenosha

Application Type: Electronic Review

State: WI

Workflow: Express Workflow

County: Kenosha

Contact Information

Project Contact - Agent/Representative

Craig Blume
Kinetic Design, Inc.
29833 Santa Margarita Parkway, Suite 300
Rancho Santa Margarita, CA 92688
P:9498609942
cblume@kineticdesign.net

Property Owner

Ed Spriegel
ARCOA Group Capitol, LLC
3300 Washington St.
Waukegan, IL 60085
P:4143973988
ed@thinkarcoa.com

Please indicate which of the following contacts are included in this project.: Architect

Architect

Craig Blume
Kinetic Design, Inc.
29833 Santa Margarita Parkway, Suite 300
Rancho Santa Margarita, CA 92688
P:9498609942
cblume@kineticdesign.net

Project Information

Project Address: 4216 52ND STREET

Project Type: Site Plan Review

Project Description:

Tenant improvement of existing vacant retail space for the use of a O'Reilly Auto Parts retail space. Minor exterior and site improvements are proposed

Project Valuation: \$750,000.00

Is the property subject to any easements, covenants, or other restrictions?: No

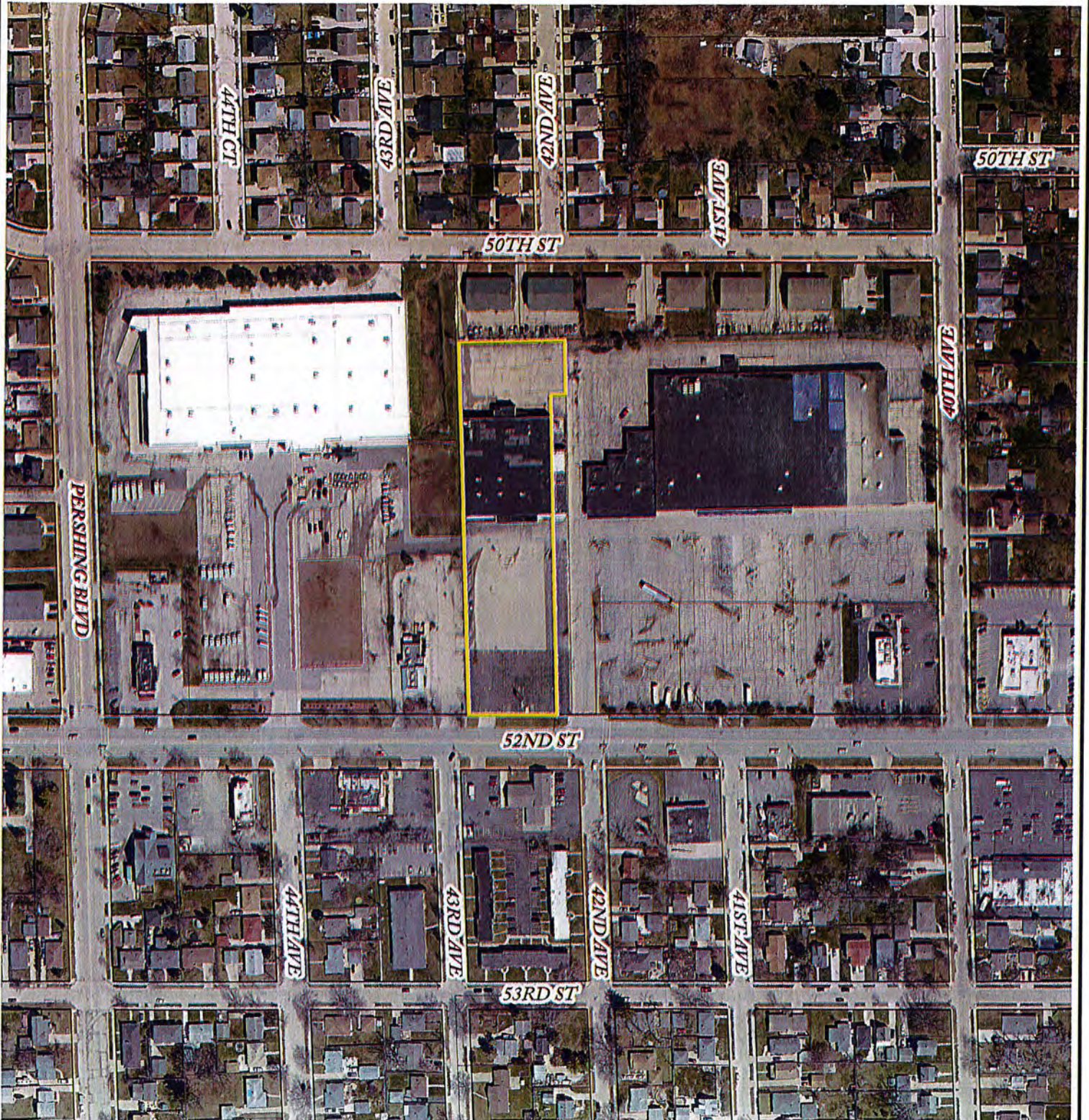
Please indicate the restrictions that apply.:

Proposed Use: Retail Sales

Total Square Footage of Project: 30040

Project Acreage: 2.572

Vicinity Map
O'Reilly Auto Parts
Conditional Use Permit



 Subject Property



**Conditional Use Permit extension for a 50-unit apartment complex to be located at 5610 37th Street.
(Kenosha Pointe Apartments – Final Hearing) (District 5) PUBLIC HEARING**

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson LaMacchia, District 5, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 5610 37th Street

1. This item was heard by the City Plan Commission on April 4, 2024, and the Conditions of approval were established at that meeting.
2. On September 22, 2022, the City Plan Commission approved a Conditional Use Permit for a 50-unit apartment complex. A condition of that approval was that the applicant must satisfy all conditions of approval and obtain the first construction permit no later than September 22, 2023.
3. On November 9, 2023, the City Plan Commission approved an extension of the Conditional Use Permit until May 22, 2024. At the time of the extension, the applicant stated that due to the financing environment, they have not been able to obtain a construction permit within the required twelve month period. They requested an extension of the Conditional Use Permit for an additional twelve months, but were only granted an extension until May 22, 2024.
4. The applicant has now requested an additional extension of the Conditional Use Permit. While their request is for another six (6) months, the Zoning Ordinance only allows an overall time period of two (2) years, with approved extensions, from the original approval to obtain a permit. Therefore any extension could not go longer than September 22, 2024. The applicant has stated that they have a new investment partner and they need additional time to prepare the drawings to get a permit.
5. Most of the originally approved conditions of approval still have yet to be satisfied. The applicant must submit revised plans to address the remaining conditions of approval prior to obtaining any construction permits. The applicant met with City Staff on April 23, 2024 and stated their intentions to prepare final plans to address the conditions of approval and obtain a permit before the September 22, 2024 deadline.
6. A Class II Notice has been published. The formal public hearing can be held and the review authority can take final action on the Conditional Use Permit at this meeting.

RECOMMENDATION:

A recommendation is made for the City Plan Commission to approve the extension to the Conditional Use Permit subject to the original conditions of approval.



Brian Wilke, AICP, Development Coordinator



Rich Schroeder, Deputy Director



TERRACO, INC.
3201 Old Glenview Road, Suite 300
Wilmette, IL 60091

847.679.6660 Direct: 847.906.5023
dwander@TerracoRealEstate.com
www.TerracoRealEstate.com

3/7/2024

Brian Wilke, AICP
Development Coordinator
City of Kenosha
625 52nd St., Room 308
Kenosha, WI 53140

**RE: CUP Extension
Kenosha Pointe Apartments**

Dear Brian:

Pursuant to our recent conversation, we are formally requesting a six (6) month extension of our Conditional Use Permit which was extended to May 22, 2024. We have a new partner; PETRA and we need the additional time to finish our drawings and get a permit for the development.

Thank you in advance for your consideration.

Sincerely,

A handwritten signature in cursive script, appearing to read "Daniel Wander". The signature is written in black ink and is positioned above the printed name.

Daniel Wander
Gendell Partners Kenosha, LLC



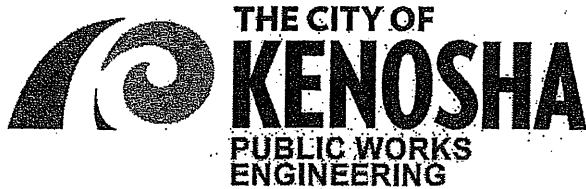
REVISED
Conditions of Approval
KENOSHA POINTE APARTMENTS
5610 37th Street
April 4, 2024

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of City Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway Approach, Sidewalk, Paved Lawn Park, Stormwater Management and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. As the site is an outlot of a Unified Business Center, the site is permitted one monument sign.
 - d. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval. Minor changes may be approved by the City Plan Division.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain the first construction permit ~~within twelve (12) months of City Plan Commission approval of the Conditional Use Permit~~ **no later than September 22, 2024** and all construction permits ~~within twenty-four (24) months of City Plan Commission approval of the Conditional Use Permit~~ **no later than September 22, 2024** or the Conditional Use Permit shall be null and void.
 - i. All vehicles shall be parked within designated paved areas.
 - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - k. Cross access shall be provided to adjacent parcels, if required, at a future date by the City.

- i. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans
 - m. The General Contractor shall keep the active construction site secured at all times. The General Contractor shall maintain a list of all sub contractors working on the active site and their respective trades and make that list available to the City upon request. The General Contractor shall provide any necessary safety training to all sub contractors on the active construction site and maintain and update the list as it changes.
 - n. The items in the Fire Prevention Bureau memo dated July 19, 2022 shall be addressed.
 - o. Park Impact Fees shall be paid upon application for a building permit.
 - p. This project is approved as a single-phase development. If the site and/or building improvements are proposed to be phased, a Phasing Plan shall be approved by Staff prior to the issuance of any building permits.
 - q. The private street lights along 57th Avenue and 37th Street and their maintenance are the responsibility of the owner of the property and the other property owners within the Unified Business Center. If the private street lights are turned off or otherwise inoperable during night time conditions, it is the responsibility of the property owners to restore the lights to operating condition.
 - r. The Assessor's Office will require actual costs on the project to be submitted prior to their office signing off on final occupancy permit(s). The cost supplied should include: all improvement costs to the raw land (retention, site elevation work, site ingress / egress work, etc.), all materials and labor associated with construction of the building, all materials and labor associated with site improvements (asphalt / concrete work, site lighting, site landscaping, etc.) and all developer's profits.
 - s. The Assessor's Office will need more detail on plans (exterior dimensions, heights, type and number of units, etc.) and type of development (subsidized, senior, rents, etc.).
 - t. The Assessor's Office will formally request all asking rents for the property at time of occupancy and also a pro forma income and expense statement that details expected stabilized performance at the property. Owner/developer should be aware that "No person may ... object to a valuation; if that valuation was made by the assessor or the objector using the income method; unless ... the person supplies to the assessor all of the information about income and expenses, as specified in the manual under s.73.03 (2a). that the assessor requests. "Wis Stat 70.47(7)(af)
2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated July 27, 2022.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility memo dated July 29, 2022.
 - c. Prior to the issuance of any permits, a Deed Restriction or Restrictive Covenant approved by the City Attorney shall be recorded with the Kenosha County Register of Deeds stating that the property shall remain fully taxable for ad valorem tax purposes, including, but not limited to, real and personal property taxes and will not be subject to any exemption or exception to taxation unless otherwise agreed to by the City. The Deed Restriction or Restrictive Covenant shall be recorded at the applicant's expense, shall

run with the land and shall be enforceable by the City against the owner and the owner's successors, assigns, and successors in title, including any tenants. The recording fee for the Deed Restriction or Restrictive Covenant shall be submitted by the applicant.

- d. Prior to the issuance of any permits, the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fee for the Conditional Use Permit shall be submitted by the applicant.
- e. The property must be rezoned from B-2 Community Business District to Rm-2 Multiple-Family Residential District by the Common Council.
- f. The City Plan Commission must approve relief to the minimum number of off-street parking spaces required by Section 6.01 of the Zoning Ordinance.
- g. Details on the trash enclosure shall be submitted.
- h. Applicant shall provide additional articulation and renderings for City Plan Commission review.



TO: Brian Wilke, Development Coordinator

FROM: Greg Holverson, P.E. Greg Holverson
Assistant City Engineer

Kim Masura, P.E., CFM Kim Masura
Senior Civil Engineer

DATE: July 27, 2022
SUBJECT: **CONDITIONAL USE PERMIT (Review 1)**
Project Description: Kenosha Point Apartments
Location: 57th Ave south of 35th Street

Our staff has reviewed the following documents:

- Site Plan, prepared by Manhard Consultants, dated 06/07/2022
- Preliminary SWMP, prepared by Manhard Consultants, dated 06/07/2022

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved		X	
Standard Stall Width	X		
Parking Lot Layout		X	
Parking Lot Lighting Shown		X	
Parking Lot Lighting Adequate		X	
Handicapped Parking		X	
Driveway Locations	X		
Driveway Width		X	
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate		X	
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks		X	
Street Lights		X	

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer		X	
Storm Water Detention		X	
Drainage Calculations		X	
Erosion Control		X	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing / Foundation Only (per condition)			X
Parking Lot Permit Required (PWE001)	X		
Public Right-of-Way Excavation Permit Required (PWE002) Public Right-of-Way Registration Required for this Permit (PWE010)			X
Driveway Approach, Sidewalk, or Paved Lawn Park Permit Required (PWE003)	X		
Stormwater Maintenance Agreement (PWU003)		X	
Stormwater Management Permit Required (PWU004)	X		
Exterior Sewer / Water Lateral Permit Required (CDI109)	Verify w/City Inspection if State Permit required		
Erosion Control Permit Required (CDI142)	X		

The following comments summarize the outcome of our review.

Grading & Drainage Comments:

1. This project is part of an originally approved Regional Stormwater Management Plan (SWMP). The Kenosha Point Apartment development must fall within those approved guidelines. The regional stormwater management plan may be requested from public works. A short narrative explaining the compliance with the previously approved SWMP. Also, include the results of development of the Kenosha Point Apartments as it fits with the previously approved SWMP. Please provide:
 - a. **Comment Addressed.**
 - b. Existing and proposed tributaries and locations of discharge (overland flow paths).
 - c. Verification that the stormwater runoff rates are met per the approved SWMP.
 - d. Any offsite flow passing through the site must be addressed.
 - e. Stormwater discharge must be shown and designed until an outlet into an existing storm sewer and/or drainageway (at each outlet location).
 - f. Verification of offsite pond depths shall be submitted to verify compliance with previously approved water quality measures for the development. Dredging may be required.

Update 6/30/22: A preliminary stormwater management plan was submitted and reviewed; however, please submit a stormwater management plan and/or narrative that includes the above calculations and information. The proposed weighted CN=85 appears to meet the previously approved CN=87.
2. Calculations shall be provided to show the proposed storm sewer meets the City of Kenosha Stormwater Management Criteria for Design of Storm Sewers, last revised November 2016 (Form #PWU005)
 - a. Storm sewers shall be sized for the largest peak flow produced by the 10-year rational method design storm.

- b. The hydraulics of the storm sewer shall be designed to operate under full or partially full conditions for the 10-year storm.
- c. Where a storm sewer discharges into a storm water detention facility or an existing storm sewer, the pipe sizing must take into account the loss of hydraulic gradient due to rising water levels in the basin or existing storm sewer. A design that would cause the storm sewer to surcharge (exceed full flow) during the 10-year storm is not acceptable.
- d. Design calculations must show actual storm water taken in by each inlet draining to the proposed storm sewer and the amount of storm water by-passing the inlet.
- e. The existing swale through the site was sized for the 10-year storm and shall be removed per the SMWP. Additionally, upstream flow adjacent to the development which tie into the proposed storm sewers must be sized accordingly.

Update 6/30/22: Comment remains. Storm sewer calculations were not provided.

- i. **A retaining wall is proposed at the northeast corner of the site. Please verify that the existing and proposed storm sewers adjacent to and crossing the wall are not in conflict with the retaining wall. Retaining wall footing elevations may be required.**
3. An overflow path shall be provided for all sumps in the interior of developments to protect against damage in the case of plugged inlets or runoff in excess of the storm sewer capacity. The required capacity of this overflow route shall be equal to that required for the 100-year, 24-hour runoff. Please show overland flow path arrows and water elevations on the plan set.
- a. A minimum of 6-inches of freeboard must exist between the design water surface and any proposed building or electrical enclosure. This must include any overflow from 36th St or 57th Ave, if applicable.
 - b. Sumps around yard inlets must only be in the immediate area of the inlet with no electrical transformer or telephone enclosure in the area subject to the flooding if the inlet plugs.
 - c. The overflow path must safely reach the Regal Pond. Please show the route and applicable calculations, including water depths at critical locations, which show the overflow path reaching the pond safely.

Update 6/30/22: Comment remains. Overland flow path and calculations not provided.

- 4. **Comment Addressed.**
- 5. **Comment Addressed.**
- 6. Runoff from disturbed areas with a tributary area of 1 acre or more shall be routed to a sediment trap which meets WDNR Technical Standard 1063 or disturbed areas with a tributary area of 5 acres or more shall be routed to a sediment basin which meets WDNR Technical Standard 1064 located on-site. Provide calculations and additional details to document the sediment traps/basins.

Update: 06/30/22: Comment Remains.

- 7. Developments disturbing 1 acre or more shall meet the requirements of WPDES Construction Site Stormwater Runoff permit through WDNR (General Permit No, WI-S067831-5). The construction site NOI shall be obtained prior to the start of construction. *No response required.*
- 8. A Stormwater Detention Pond Use and Maintenance Declaration has been previously recorded for the offsite pond which defines allowable use and maintenance responsibilities. An updated maintenance agreement and easement will not be required by the City. *No response required.*

Traffic Comments:

- 1. **Addressed R2** It should be noted the abutting streets to west and south are privately owned.
- 2. **Comment not responded to R1** North side 37th st needs street lights near ends of property and one in middle. South side 35th st needs street lights near ends of property. East side of 57th av needs lights or analysis showing existing west side lights illuminate the street to IES recommendations. R1 Sidewalk and street lights abutting streets will need to be provided.
- 3. **Ramp on SE corner of 57th Av and 35th street needs to have ramp to north. Ramp on NE corner of 57th Av and 37th St needs to have ramp to south and west.** R1 At intersections, please provide WisDOT type II pedestrian ramps.

4. **Comment not responded to R1** South sidewalk needs to continue easterly past driveway and connect to paved path.
5. **Addressed R1** Per the 2010 Kenosha Pointe Conditional Use Approval, Condition P, "The second phase of the bicycle/pedestrian path shall be constructed prior to the issuance of any Occupancy Permits on Lot 4 of the CSM #2675. Path needs ramp to continue north at 35th street.
6. **Comment not responded to R1** Please provide details for ADA stall and access aisle pavement markings. Details should show ADA sign, with van accessible auxiliary sign, to be mounted 60 inches above surface and meet ADA criteria. HC parking stalls and access aisles have less than 1:48 maximum slope in all directions. Provide spot elevations that confirm ADA access route slope from parking stall to building access is in compliance with ADA criteria.
7. **Comment not responded to R1** Parked vehicles cannot encroach over that 5-foot sidewalk width. Typically, a parking block offset 2-foot into parking stall or a 2-foot wider pedestrian way resolves this issue.
8. **Comment not responded to R1** Parking lot lighting photometric layout plan will be required along with typical detail for pole and fixture. Illumination shall meet the minimum standards of the Illuminating Engineering Society of America and the maximum allowable light spillover at property line shall be 0.75 average foot candles for non-residential properties and 0.50 for residential properties
9. **Comment not responded to R1** Driveway width at entrance needs to be 18-30 feet and width of curb cut needs to be 28-40 feet. A maximum flare of 5 feet is allow. Please show width of driveway on plans.
10. **Comment not responded to R1** Three parking stalls on south end, facing building, need to be eliminated as vehicles entering from roundabout need an area outside of roundabout to wait for cars backing out of stalls.
11. ~~Comment Addressed R1 Parking stall and aisle dimensions will need to be in compliance with General Ordinance 5.08-C Table 1.~~
12. **Comment not responded to R1** Will need typical details for pavement, curb gutter, sidewalks, etc.

NEW REVIEW 1 CONSTRUCTION LEVEL COMMENTS:

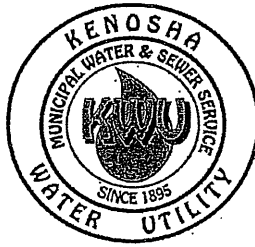
1. For each resubmitted plan set, please note on the cover sheet the latest plan sheet revision date
2. Please place note on cover sheet to call City Inspector (945-3475) prior to doing any work in public RW
3. Please place note on plans that street traffic regulating signage around the development to be kept operational and be reinstalled in final positions in existing or better conditions
4. Detectable warning fields at driveways in public RW are not allowed. Detectable warning fields at intersection ramps in public RW need to be natural patina.
5. For driveway curb cuts, remove existing concrete curb and gutter to nearest joint and replace with concrete gutter.
6. East side of property, N/S sidewalk at 37th st cannot have a ramp onto 37th st at this time as there is no receiving sidewalk on south side of 37th st. Please place note on plans showing this sidewalk connection to 37th st to be provided by Kenosha Pointe development when a south side walk is constructed by others.
7. Please note 57th Avenue is a private street and property owner has street maintenance responsibilities. 57th Av has manhole castings and water valves sticking up 1 to 2 inches above surrounding pavement. These need to be lowered to pavement grade or have street overlaid so new pavement grade matches existing structures.

cc: Greg Holverson; Kim Masura; Kile Kuhlmeier; Emily Basalla (Clark Dietz)

Engineering Services

4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315



Providing and Protecting Kenosha's Greatest Natural Resource

MEMO

To: Brian Wilke, Development Coordinator
From: Ian C. Bagley, P.E., Director of Engineering Services
Date: July 29, 2022
Subject: Kenosha Point Apartments
Location: 5610 37th Street

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. An easement and maintenance agreement is needed for Regal Apartments which has a private 6" water main on the subject parcel at the Northeast corner as shown on the plans submitted for review.
2. There is an existing 8" water main stub to the parcel between the two proposed buildings. As this stub will not be used for this development it must be removed. Please show the stub being removed and the east side of the tee plugged on the Existing Conditions and Demolition Plan.
3. Show water meter size and location, including a detail or diagram, on the construction plans, not with the MEP submittal. If a basement is proposed, meters shall be placed in the basement. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a full port brass bodied ball valve on the inlet and outlet pipe.
4. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a two way ball valve with locking handle. Meters one and one half inches (1-1/2") and two inches (2") shall have Jomar tamper proof locking devices; all meters greater than two inches (2") shall have an American Valve, Model 3700 flanged ball valve with tamper proof locking device, or approved equal.
5. Meters three inches (3") and larger shall have a two inch (2") test plug provided between the outlet side of the meter and the outlet valve.
6. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division and installed by the developer.

7. Remote meter reader will be installed four feet (4') above adjacent grade with no obstructions.
8. A strainer shall be provided five (5) pipe diameters downstream of the water meter for all meters 3" or larger in size.
9. Water services larger than two inches (2") shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules & Regulations, Rule 06-35. The pressure test on the water service shall only be conducted after the bacteriological sampling is complete and certified safe by KWU.
10. Water services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface in the curb box and at the edge of the building and enclosed in a locator box with "water" on the cover.
11. Label invert elevations on all water and sanitary sewer service stubs and fittings and provide pipe slopes for water and sanitary sewer service lines.
12. Sanitary sewer laterals shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a locator box with "sewer" on the cover.
13. There is a direct conflict between the storm and sanitary sewer near the northwest corner of the south building. One or both of the pipes must be adjusted to eliminate this conflict. In addition, please provide a conflict table on the Utility Plan for all pipe crossings.
14. There is no drop across any of the proposed sanitary manhole structures. Provide a minimum 0.10' drop across each structure to prevent the settling of solids inside the flow line of the manhole.
15. Note 17 under "Utility Notes" on the Utility Plan calls out external chimney seals for all sanitary manholes but then goes on to require Internal/External seals. Please revise this to eliminate the reference to external chimney seals as KWU requires the use of Internal/External seals.
16. While not required, it is suggested that the sanitary services for each building be directed out the west side instead of the east side. This would minimize the number of manholes needed and reduce the total footage of sanitary sewer main.
17. There is no sanitary sewer or water services shown to the Maintenance / Pet Care Building so it is assumed service is not needed for this structure.

Feel free to contact me with any questions, comments, or concerns.

CC: Curt Czarnecki, P.E., General Manager
Adam Dow, P.E., Facility Plan Engineer
Leif Jackson, Water Engineer

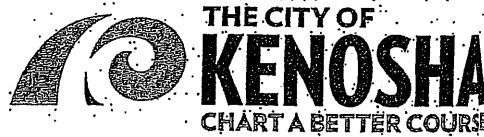


Kenosha Fire Department
2121 Roosevelt Road
Kenosha, WI 531443

Keith Aulds

Fire Prevention Bureau

Phone (262) 653-4100
Fax (262) 653-4107



Fire Prevention Bureau
C.U.P./Site Development Plan Review Form

Date: 07/19/2022
Project: Kenosha Pointe Apartments Concept
Address: 5610 37th Street

The City of Kenosha Fire Department Fire Prevention Bureau performed a plan review on the above property. Please see comments below and do not hesitate to contact us with questions.

Bold one:

- Approved – No Comments
- **Approved – See Comments Below**
- Withhold Permits- Subject to Items Below
- Approval Denied – See Comments Below

Comments:

1 Automatic Fire Sprinkler System Required:

Plans and specifications shall accompany each submittal, including all applicable plan review and acceptance testing fees. Plans will be reviewed and conditionally approved by the Fire Prevention Bureau. All sprinkler systems require a permit issued by the Department of Neighborhood Services and Inspections prior to the start of any work. The Kenosha Fire Department shall witness all field and acceptance testing.

2 Fire Department Connections:

Every Automatic Fire Sprinkler System shall have the following:

a. **A Fire Department Connection.** The Fire Department Connection shall be operationally connected to the Automatic Fire Sprinkler System. The Fire Department Connection shall have a five (5⁶) inch Storz connection on the building.

Phone (262) 653-4100
Fax (262) 653-4107

The Fire Department Connection shall be located to comply with all of the following: no further than 100 (100') feet from a fire hydrant. There may not be any obstruction between the fire hydrant and the Fire Department Connection that would impede a firefighter's access to the Fire Department Connection, or that would inhibit the operation of a hose extending from the fire hydrant to the Fire Department Connection.

b. Locking Cap Covers. All Fire Department Connections, regardless of when installed, shall be occluded by a Locking Cap capable of being removed by appropriate Key Wrenches carried by the Fire Department. Due to the need for consistency and efficiency in emergency situations, and due to the proprietary nature of Key Wrenches, the Fire Department may specify a certain manufacturer or a limited number of manufacturers that provide Locking Caps removable by a particular Key Wrench configuration.

c. Bollards. Fire hydrants associated with project and any private hydrants on the property shall be protected from vehicular traffic damage with bollards. The Bureau shall determine the number of bollards needed.

d. Signage. All Fire Department Connections will be labeled on the building or pumper pad; signage to be approved by the Bureau.

3 Building Numbers:

Building address number size shall be approved by the FPB AHJ prior to installation on the building.

4 Knox Box Required:

A Knox Box shall be required on all buildings, multiple may be needed on larger buildings, per 3.30 (C) of the City of Kenosha Ordinance.

5 Fire Alarms Required:

Fire alarms shall be required in all buildings on the plan. All alarms will be individually monitored by the address of the building. Fire alarm plans shall be reviewed and permitted through the Fire Prevention Bureau. Upon completion of the building final testing of the system shall be completed before final occupancy of the building is gained.

Reviewed by:

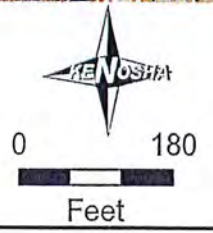
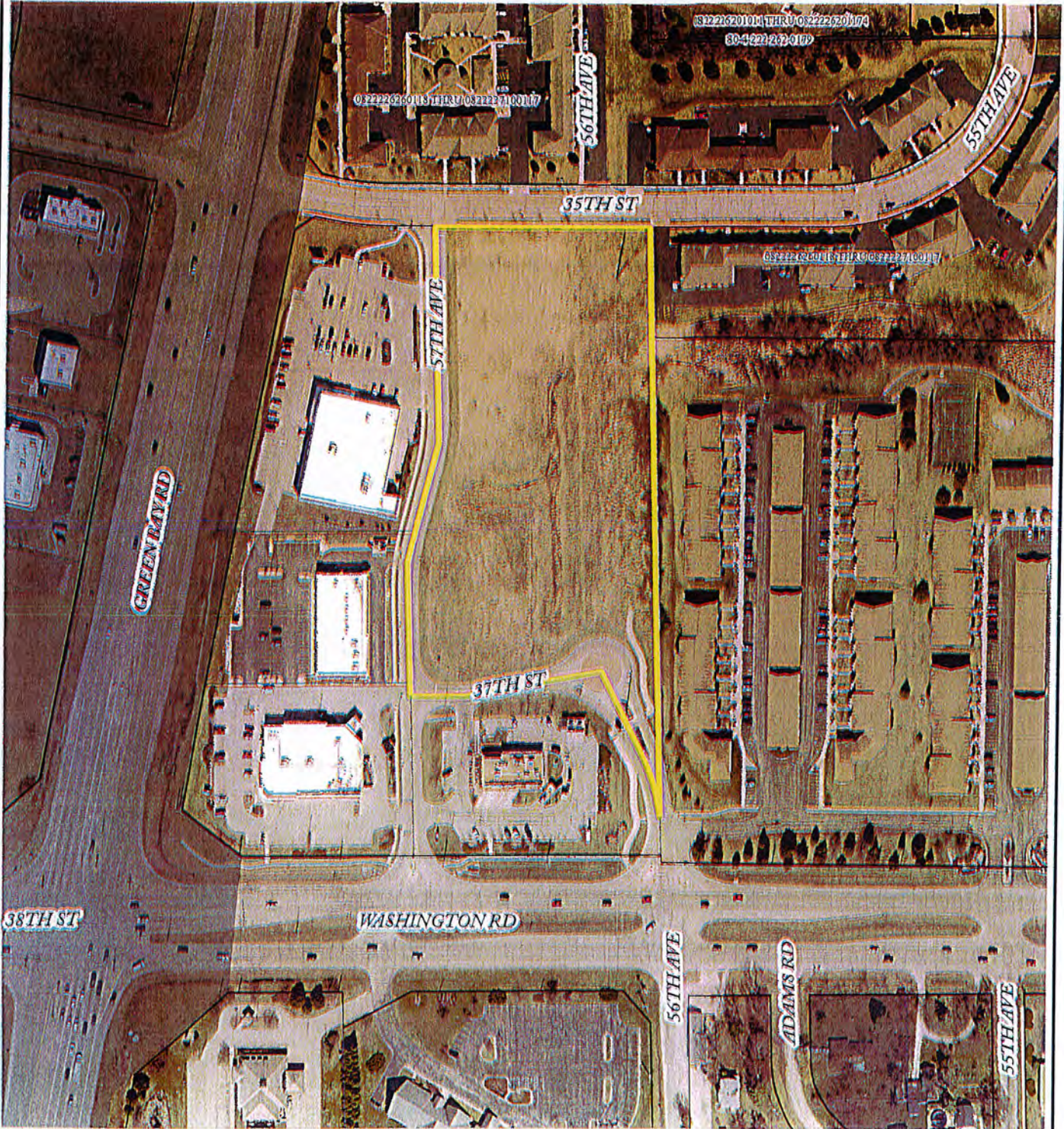
Keith Aulds

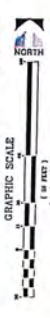


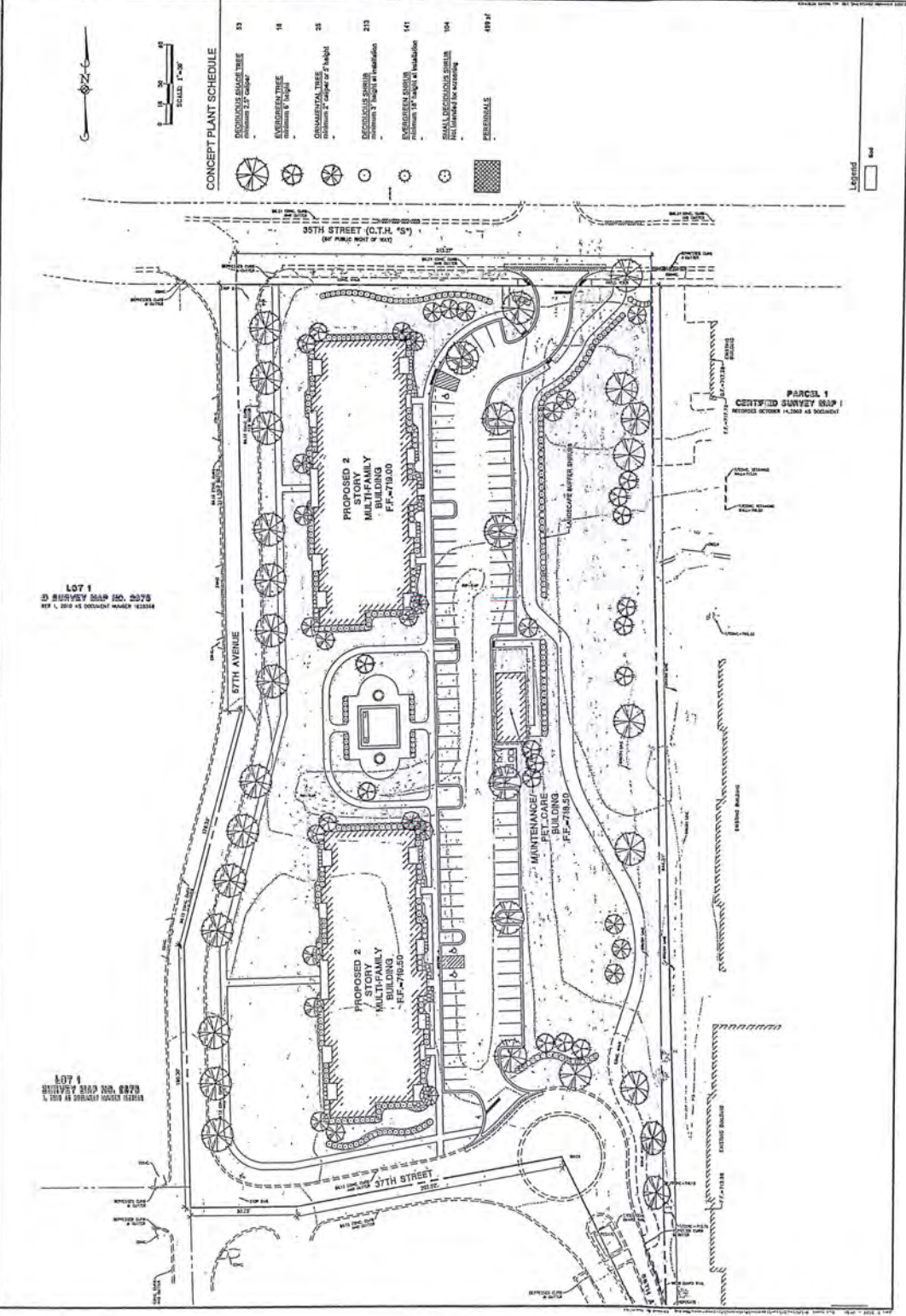
Kenosha Fire Department



City of Kenosha
Vicinity Map
Kenosha Pointe Apartments
Conditional Use Permit









BUILDING TYPE 1 STREETSCAPE
35TH STREET MULTIFAMILY
KENOSHA, WISCONSIN



OCTOBER 13, 2022

TRIZAD HOLDINGS LLC

The drawings presented are illustrative of proposed and design intent only. They are not intended to constitute a contract. All dimensions and materials shall be as shown on the drawings unless otherwise indicated. © 2022 BSB Design, Inc.



TRIZAD HOLDINGS LLC

BUILDING TYPE 2 STREETScape
35TH STREET MULTIFAMILY
KENOSHA, WISCONSIN



The drawings presented are for review or approval only and do not constitute a contract. All dimensions and materials are approximate and subject to change without notice. For more information, please contact BSB Design, Inc. at 262.222.8888 or bsbdesign.com

OCTOBER 13, 2022



Conditional Use Permit for a 2,567 square foot coffee shop with a drive-thru located at 3355 80th Street. (Starbucks – Final Hearing) (District 14) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Harper, District 14, has been notified. Aldersperson Keeling, District 8 has also been notified as her District is within 100 feet of the project site. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 3355 80th Street

1. This item was heard by the City Plan Commission on April 4, 2024, and the Conditions of approval were established at that meeting.
2. The applicant is proposing to construct a Starbucks coffee shop with a drive-thru on a vacant portion of a parcel owned by North Shore Bank. The City Plan Commission had reviewed this site as a concept on December 7, 2023.
3. The exterior materials are EIFS, brick and composite masonry panels.
4. Staff did not support this development as presented at the April 4, 2024 meeting. Staff had several concerns with the Conditional Use Permit plans presented at that meeting. Staff recommended conditions of approval that would upgrade the appearance of the building and make it more harmonious with the surrounding developments. The applicant has responded with the attached building elevations which provide spandrel windows along the north elevation facing 80th Street, additional spandrel windows on the west elevation with the drive-thru, and additional decorative materials over the primary entrance and awning. With the upgraded elevations, Staff now recommends approval of the project.
5. The applicant is proposing to divide the existing parcel into two parcels with a Certified Survey Map. That Certified Survey Map was approved by the Common Council on April 15, 2024.
6. There are no current or pending building or zoning code violations on the property.
7. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.
8. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
9. A Class II Notice has been published. The formal public hearing can be held and the review authority can take final action on the Conditional Use Permit at this meeting.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached conditions of approval.

Brian Wilke, AICP, Development Coordinator

Rich Schroeder, Deputy Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of City Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Public Right-of-Way Excavation, Stormwater Management and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. The site is limited to one monument sign only.
 - d. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval. Minor changes may be approved by the City Plan Division.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. The applicant shall meet all applicable Conditions of Approval and obtain a construction permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - j. Outdoor display of products is prohibited.
 - k. All vehicles shall be parked within designated paved areas.
 - l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - m. Cross access shall be provided to adjacent parcels, if required, at a future date by the City.

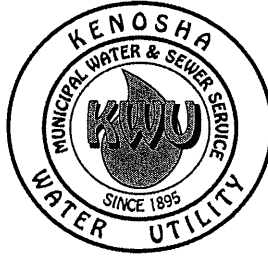
- n. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans
 - o. The General Contractor shall keep the active construction site secured at all times. The General Contractor shall maintain a list of all sub contractors working on the active site and their respective trades and make that list available to the City upon request. The General Contractor shall provide any necessary safety training to all sub contractors on the active construction site and maintain and update the list as it changes.
 - p. The Assessor's Office will require actual costs on the project to be submitted prior to their office signing off on any occupancy permit(s). The costs supplied should include: all improvement costs to the raw land (retention, site elevation work, site ingress/egress work, etc.), all materials and labor associated with construction of the building, all materials and labor associated with site improvements (asphalt/concrete work, site lighting, site landscaping, etc.), and all developer's profit. In terms of the detailed project cost, one document you may have is Form AIA G702. This form provides the detail that their office is looking to acquire.
 - q. The Assessor's Office will formally request a lease(s) for the property, if applicable, at time of occupancy. It should be noted with owner/developer that "No person may object to a valuation; if that valuation was made by the assessor or the objector using the income method; unless the person supplies to the assessor all of the information about income and expenses, as specified in the manual under s. 73.03 (2a), that the assessor requests. " Wis Stat 70.47(7)(af).
 - r. Compliance with the Operational Plan.
 - s. Any abutting public sidewalk in need of repair or damaged during construction shall be replaced.
2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
- a. Prior to the issuance of any permits, the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fee for the Conditional Use Permit shall be submitted by the applicant.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing comments listed in the memo dated March 27, 2024
 - c. The items in the Fire Prevention Bureau memo dated March 22, 2024 shall be addressed.
 - d. The Drainage Plan shall be revised to address the comments in the GeoCivix review.
 - e. The Building Elevations must be updated to include windows, real or false, along a minimum of sixty percent (60%) of the width of the north elevation and must be designed to have the appearance of a building front. Additional articulation or windows must be included on the west elevation. Final building elevations to be approved by the City Plan Commission.
 - f. The composite masonry material at the southeast corner of the building under the canopy must extend up to the roofline.

- g. The columns of the canopy located south of the store must be encased in a brick material to match the building. Canopy wrap must go from ground to the underside of the canopy.
- h. Roofline articulation must be added. Roofline articulation must vary by a minimum of two feet in height between elements.
- i. The Landscape Plan must show a three foot (3') tall decorative fence in line with the closest 80th Street Facade of North Shore Bank and Atlas Gym equal to the full width of the improvements on the site.
- j. The north-south sidewalk abutting the front of the store must be increased to seven feet (7') in width, or a parking barrier must be installed in the abutting parking spaces to prevent a bumper overhanging the sidewalk.
- k. The maximum capacity of the restaurant must be provided in order to calculate the amount of off-street parking that is required. If the required amount of off-street parking spaces is not provided, the City Plan Commission must grant relief to the minimum amount of off-street parking spaces required.
- l. An Operational Plan must be provided showing hours of operation, number of employees, and methods and frequency of trash removal.
- m. A minimum of a five foot (5') wide paved ADA accessible sidewalk and parkway must be provided for the frontage abutting southern private street for the entire existing parcel, including North Shore Bank. Please note that the sidewalk must be maintained and kept clear of snow by the property owner.
- n. Private curb and gutter within this development that meets public sidewalk should have a 5-foot curb head taper.
- o. Each parking row, regardless of length, should begin and end with an 8-foot wide landscaped island with barrier type curb, and shall include at least one 2 ½-Inch deciduous caliper tree.

Engineering Services

4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315



Providing and Protecting Kenosha's Greatest Natural Resource

MEMO

To: Brian Wilke, Development Coordinator

From: Leif Jackson, Water Engineer

Date: March 27, 2024

Subject: 80th Street Starbucks CUP

Location: 3321 80th Street

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following issues are resolved:

1. As KWU supplies and maintains the water meter for the development, a water meter detail is required to be included with the Civil Plans. Please note the following regarding water meter configuration:
 - **Mounting Requirements** – The water meter shall have unobstructed access, twelve inches (12”) from the inside wall, twelve to twenty-four inches (12”-24”) above the floor. The meter shall have full brass body ball valves on the inlet and outlet pipe. Water meters are to be permanently housed in a climate controlled environment.
 - **Water Meter Bypass** – All water meters one and one half inches (1.5”) or greater shall have a bypass with a two way ball valve with locking handle. Meters one and one half inches (1.5”) shall have Jomar Tamperproof Locking Devices; all meters greater than one and one half inches (1.5”) shall have an American Valve, Model 3700 Flanged Ball Valve with Tamperproof Locking Device, or approved equal.
 - **Remote Meter Reader Connection** – A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (0.5”) conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division and installed by the developer.
 - **Remote Meter Reader** – Remote meter reader will be installed four feet (4’) above adjacent grade with no obstructions.
 - **Fees** – Please note that the size of the meter will dictate the associated Sewer Impact Fee. Be sure to include the proposed water meter size with the detail. A breakdown of these fees can be found at:

KWU 2022 Water & Sewerage Service Rates

2. As a food service establishment, the site will need a sampling manhole. Please include a manhole detail that reflects the following requirements:
 - Manhole shall be constructed of pre-cast reinforced concrete sections conforming to ASTM Specifications, C478, latest revision
 - Minimum manhole diameter of forty-eight inches (48")
 - A call-out for the Internal/External Chimney Seal (*see KWU comment #3, below*)
 - A call-out for Mac-Wrap on the exterior of all joints
 - A call-out for EZ-Stick between all joints
 - The lid/cover must be a closed lid with concealed pick holes
 - The lid/cover should be labeled sewer, with no reference to KWU

3. Internal/External Seals are required for all sanitary manholes installed or modified through the Project. A detail for the seal should be include in the plan-set and can be found at:

<http://adaptorinc.com/wp-content/uploads/2018/07/InternalExternalSealDrawing.pdf>

4. On Sheet C-3, the Existing Conditions & Demolition Plan, please include a call-out on the existing water valve near the northern limits of the site to protect the valve during construction. Also, please include a note on the Grading & Erosion Control Plan to adjust the valve box to finish grade. Additionally, note that this valve is on the north/south main running to the north of the site, not as drawn on the east/west water main. Per KWU records, the east/west main should be approximately two feet (2') south of the valve.

5. Please note that a two inch (2") live/wet tap has an installation charge of \$1,200, which must be paid in full a minimum of 72-hours prior to scheduling the tap. *This note will appear on all subsequent reviews.*

Feel free to contact me with any questions, comments, or concerns.

CC: Curt Czarnecki, P.E., General Manager
Ian Bagley, P.E., Director of Engineering Services

Kenosha Fire Department
2121 Roosevelt Rd
Kenosha, WI 53143

Phone (262) 653-4100
Fax (262) 653-4107



JACOB WALDSCHMIDT
Division Chief
Fire Prevention Bureau

KEITH AULDS
Inspector

Fire Prevention Bureau C.U.P./Site Development Plan Review Form

Date: 3/22/2024
Project: Starbucks 80th Street
Address: 3321 Starbucks 80th Street

The City of Kenosha Fire Department Fire Prevention Bureau performed a plan review on the above property. Please see comments below and do not hesitate to contact us with questions.

Bold one:

- Approved – No Comments
- **Approved – See Comments Below**
- Withhold Permits- Subject to Items Below
- Approval Denied – See Comments Below

Comments:

1. Building & Door Numbers:

Building address number size and man door number size shall be approved by the FPB AHJ prior to installation on the building.

2. Knox Box Required:

A Knox Box shall be required on all buildings, multiple may be needed on larger buildings, per 3.30 (C) of the City of Kenosha Ordinance.

3. EXIT SIGNS IN PROXIMITY OF FLOOR

Floor proximity exit signs as required per 3.27 of the City of Kenosha Ordinance.
In the office sections of the buildings.

Kenosha Fire Department
2121 Roosevelt Rd
Kenosha, WI 53143

Phone (262) 653-4100
Fax (262) 653-4107



JACOB WALDSCHMIDT
Division Chief
Fire Prevention Bureau

KEITH AULDS
Inspector

4. Kitchen Hood (if applicable):

Requirement.- All commercial kitchens and all industrial kitchens shall have at least one (1) adequate hood system and at least one (1) duct fire extinguishment system.

5. City of Kenosha Requirements:

Refer to Kenosha Code of Ordinance Chapter 3 for requirements to ensure compliance. WI State Statutes and adopted NFPA Codes and Standards listed in Chapter 3 are required to be followed.

6. Onsite Road Requirements:

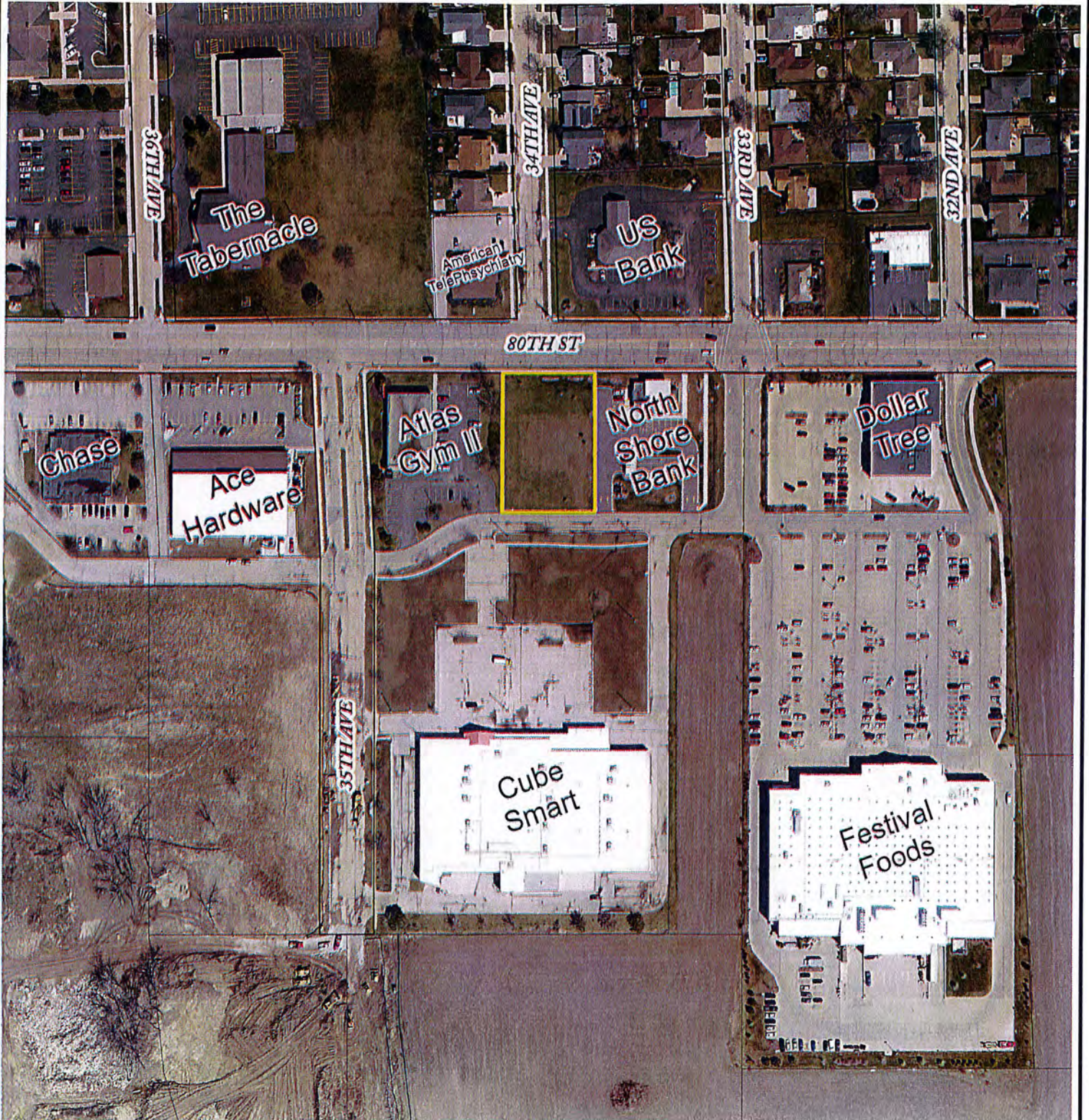
Private roads in the complex shall be a minimum of 22 feet wide with no parking signage on the inner side of the road. 2nd Access entrance/exit shall be Required


Reviewed by:

Jacob Waldschmidt

Kenosha Fire Department

City of Kenosha
Vicinity Map
Starbucks
Conditional Use Permit



 Subject Property





This application and all plan review documents **must** be submitted through the City of Kenosha's online plan review portal:

kenosha.geocivix.com/secure/

APPLICATION FOR DEVELOPMENT REVIEW Forms #CD301 thru #CD310 (rev. 5/21)

This page required with every application or the application will be deemed incomplete.

MAILING INFORMATION

NAME OF PROJECT: Starbucks 80th Kenosha

The property owner will receive all correspondence. The Applicant and Architect/Engineer will be copied on correspondence. Owner signature required.

Name and Address of Property Owner (Please print):
 North Shore Bank
 Attn: Mr. David Kane
 15700 West Bluemonund Road
 Brookfield, WI 53005

Phone: 262-787-6816
 E-Mail*: dkane@northshorebank.com

Signature*: 

Name and Address of Applicant (if other than Property Owner) (Please print):
 DCWW Development, LLC
 Mr. David Church
 12610 W. North Court
 New Berlin, WI 53151

Phone: 414-737-1680
 E-Mail*: dchurch23@att.net

Name and Address of Architect / Engineer (Please print):
 Adam Stein - Architect
 Logic Desing & Architecture, Inc.
 10400 W. Innovation Drive, Suite 330
 Milwaukee, WI 53226

Phone: 414-909-0080
 E-Mail*: astein@logicda.com

PROJECT LOCATION

Location of Development (street address and / or parcel number): +/- 3321 80th Street
 - between North Shore Bank and Atlas Gym 2

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

- Certified Survey Map #CD301
- Concept Review (Land Division) #CD302
- Concept Review (Multi-Family Residential or Non-Residential) #CD303
- Conditional Use Permit #CD304
- Developer's Agreement #CD305
- Final Plat #CD306
- Lot Line Adjustment Survey #CD307
- Preliminary Plat #CD308
- Rezoning #CD309
- Site Plan Review #CD310

Section 1	Page 3
Section 2	Page 4
Section 3	Page 5
Section 4	Pages 6 & 7
Section 5	Page 8
Section 6	Pages 9 & 10
Section 7	Page 11
Section 8	Pages 12 & 13
Section 9	Pages 14 & 15
Section 10	Pages 16 & 17

Prior to submitting this Application to the Department of City Development, please review the appropriate sections for fees, requirements and appropriate appendices. Submit this cover page, completed application, applicable section(s) and appendices along with **ALL** required plans, information and fees to the address listed below.

*All applications for City Plan Commission / Common Council must include an email address and property owner signature. Staff report and agenda will be forwarded to the email address included in this application.



APPLICATION FOR CONDITIONAL USE PERMIT
Form #CD304 (rev. 11/20)

SECTION 4 CONDITIONAL USE PERMIT																					
Additional Information Required:	Building or Addition Square Footage: +/- 2,567sf Existing Building Size: N/A Site Size: +/- .604 Acres Current # of Employees 0 Anticipated # of New Employees 25-30, 6-8 per shift Anticipated Value of Improvements +/-750,000																				
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Specified Plans indicated below drawn at a standard engineering scale in .pdf format provided to bwilke@kenosha.org. Engineering plans to be stamped by Professional Engineer. ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 																				
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ Fifteen (15) copies of 11" x 17" reduction of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) SUBMIT WHEN REQUESTED BY STAFF ➤ Sample Board containing colored samples of all exterior building materials ➤ <i>*Application will not be reviewed by City Plan Commission without these submittals.</i> 																				
Fees:	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;"></th> <th style="width: 30%; text-align: center;">Building or Addition Size</th> <th style="width: 30%; text-align: center;">Site size</th> <th style="width: 30%; text-align: center;">Review Fee</th> </tr> </thead> <tbody> <tr> <td>Level 1</td> <td><= 10,000 sq. ft.</td> <td><= 1 acre</td> <td>\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC</td> </tr> <tr> <td>Level 2</td> <td>10,001 - 50,000 sq. ft.</td> <td>1.01 - 10 acres</td> <td>\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC</td> </tr> <tr> <td>Level 3</td> <td>50,001 - 100,000 sq. ft.</td> <td>10.01 - 25 acres</td> <td>\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC</td> </tr> <tr> <td>Level 4</td> <td>> 100,001 sq. ft.</td> <td>> 25.01 acres</td> <td>\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC</td> </tr> </tbody> </table> <ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 		Building or Addition Size	Site size	Review Fee	Level 1	<= 10,000 sq. ft.	<= 1 acre	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	Building or Addition Size	Site size	Review Fee																		
Level 1	<= 10,000 sq. ft.	<= 1 acre	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC																		
Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC																		
Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC																		
Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC																		
Appendices to Review:	➤ All																				
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review 																				
The conditional use permit plans, prepared to a standard engineering scale, shall be submitted with this application & shall include the following information:																					
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 																				
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 																				



APPLICATION FOR CONDITIONAL USE PERMIT
Form #CD304 (rev. 11/20) (continued)

SECTION 4
CONDITIONAL USE PERMIT Continued

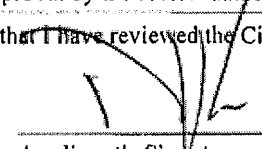
Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas
Landscape Plan	<ul style="list-style-type: none"> ➤ Existing trees and land form ➤ Location, extent and type of all proposed plantings ➤ Location, height, opaque characteristics and type of any required screening
Utility Plan	<ul style="list-style-type: none"> ➤ Location of all utilities: storm and sanitary sewers, water mains, fire hydrants, electrical, natural gas, and communication (cable television, telephone, etc.) lines (<i>Refer to Exhibit C for more specific information requested</i>) ➤ Exterior lighting for parking and other outdoor areas, outdoor signs and building exteriors ➤ Location of waste and trash collection, and indicate plans for snow removal
Erosion Control Plan	<ul style="list-style-type: none"> ➤ Location of all Erosion Control measures in compliance with Section 33.0 of the Code of General Ordinances

The alderman of the district will be notified of the application.

The Conditional Use Permit will be reviewed for compliance with Sections 4 and 14 of the Zoning Ordinance, as well as requirements contained in other City and/or State codes and ordinances in reviewing the application.

It is noted that under Section 4.04 I of the Zoning Ordinance, if a construction permit is required and not secured within twelve (12) months of the date of approval by the review authority, the conditional use permit shall expire.

I hereby certify that I have reviewed the City Ordinances and have provided of all required information.



 Applicant's Signature



P: 262-653-4030
E: idtcd1@kenosha.org

625 52nd Street, Kenosha, WI 53140
www.kenosha.org

Project Overview **#1268874**

Project Title: 80th Street Starbucks CUP
Application Type: Electronic Review
Workflow: Express Workflow

Jurisdiction: City of Kenosha
State: WI
County: Kenosha

Contact Information

Project Contact - Agent/Representative

Adam Stein
Logic DA, PLLC
10400 W Innovation Drive, 330
Milwaukee, WI 53266
P:4149090080
astein@logicda.com

Please indicate which of the following contacts are included in this project.: Architect

Property Owner

David Kane
North Shore Bank
15700 West Bluemound Road
Brookfield , WI 53005
P:2627876816
dkane@northshorebank.com

Architect

Adam Stein
Logic DA, PLLC
10400 W Innovation Drive, 330
Milwaukee, WI 53266
P:4149090080
astein@logicda.com

Project Information

Project Address: 3321 80TH STREET

Project Description:

Proposed new construction of new retail building Starbucks approximately 2,567 sf on existing vacant lot. It will include a drive and outdoor covered patio.

Project Type: Conditional Use Permit

Project Valuation: \$700,000.00

Is the property subject to any easements, covenants, or other restrictions?: No

Please indicate the restrictions that apply.:

Proposed Use: Starbucks Cafe: A-2 (Assembly), B, S-1 (Business, Storage)

Total Square Footage of Project: 25767

Project Acreage: .62

**Conditional Use Permit for a 144 unit multi-family development located at 19th Street and 22nd Avenue
(North Trails Condos – Initial Hearing) (District 5) PUBLIC HEARING**

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson LaMacchia, District 5, has been notified. Aldersperson Ferree, District 6, has also been notified as her District is within 100 feet of the project boundary. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: West of 22nd Avenue at approximately 19th Street.

1. The applicant is proposing to construct a 144 unit multi-family development on vacant land located west of 22nd Avenue, roughly at 19th Street. The City Plan Commission saw this project as a concept with a Rezoning Petition at their meeting on June 22, 2023. The property was rezoned to Rm-2 Multiple-Family Residential by the Common Council on August 7, 2023.
2. The development will consist of twelve, 12-unit buildings. With the current lot size of 13.75 acres, the project density is 10.5 units per acre. The project is being proposed as a condominium ownership style product. The buildings will include the variation in materials and design between buildings required by the Zoning Ordinance. The proposed exterior materials are cement siding, stone and combination metal and asphalt shingle roofs.
3. The project will feature amenities such as a clubhouse, a pool, a pet run, and a connection to the adjacent Kenosha County Bicycle Trail. The property will be fenced and gated.
4. All roads within the development will be private. The applicant has submitted a petition to vacate a portion of 25th Avenue right-of-way adjacent to the development that would allow for a second private access to the development.
5. There are no current or pending building or zoning code violations on the property.
6. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.
7. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
8. Per the Wisconsin State Statutes, the Conditions of Approval shall be established at this meeting. After a Class II Notice is published, the formal public hearing will be held and the review authority can take final action on the Conditional Use Permit at that meeting.

RECOMMENDATION:

A recommendation is made for the City Plan Commission to establish the Conditions of Approval and schedule a public hearing after publication of a Class II Notice.



Brian Wilke, AICP, Development Coordinator



Rich Schroeder, Deputy Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of City Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway Approach, Sidewalk, Paved Lawn Park, Public Right-of-Way Excavation, Stormwater Management and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. The site is permitted to have one monument sign.
 - d. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval. Minor changes may be approved by the City Plan Division.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas within each phase shall have the initial lift of asphalt installed. The off-site stormwater improvements must be completed and functional before any Occupancy Permit in the first phase. The building exterior shall be completed per the approved plans and the exterior lighting shall be installed within each phase. The exterior buffer landscaping must be installed before issuance of any Occupancy Permit for each phase. All other improvements indicated on the plans shall be installed prior to the issuance of a final Occupancy permit for each phase.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The applicant/owner shall also be responsible for snow removal and maintenance off all private roads within the development. The City of Kenosha shall not provide waste collection or removal services or snow removal or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain the first construction permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit and all construction permits within twenty-four (24) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - i. All vehicles shall be parked within designated paved areas.
 - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.

- k. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans
 - l. The General Contractor shall keep the active construction site secured at all times. The General Contractor shall maintain a list of all sub contractors working on the active site and their respective trades and make that list available to the City upon request. The General Contractor shall provide any necessary safety training to all sub contractors on the active construction site and maintain and update the list as it changes.
 - m. The applicant shall pay all Impact Fees per Chapter 35 of the Code of General Ordinances before issuance of any Building Permits.
 - n. Compliance with the Operational Plan.
2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
- a. Prior to the issuance of any permits, a Deed Restriction or Restrictive Covenant approved by the City Attorney shall be recorded with the Kenosha County Register of Deeds stating that the property shall remain fully taxable for ad valorem tax purposes, including, but not limited to, real and personal property taxes and will not be subject to any exemption or exception to taxation unless otherwise agreed to by the City. The Deed Restriction or Restrictive Covenant shall be recorded at the applicant's expense, shall run with the land and shall be enforceable by the City against the owner and the owner's successors, assigns, and successors in title, including any tenants. The recording fee for the Deed Restriction or Restrictive Covenant shall be submitted by the applicant.
 - b. Prior to the issuance of any permits, the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fee for the Conditional Use Permit shall be submitted by the applicant.
 - c. The Drainage Plan, Utility Plan and Fire Prevention Plan shall be revised and resubmitted for review and approval addressing comments listed in the GeoCivix Review Letter.
 - d. Parcels ending in 101-101 and 101-141 must be combined via parcel combination, lot line adjustment survey or certified survey map.
 - e. Site Plan shows a 5' tall fence, but swale detail on the Landscape Plan shows a 4' tall fence. Section 14.08 of the Zoning Ordinance requires a 6' tall solid fence for any buffer strip that is less than 25' in width. This would apply to the south, east and north lot lines. Please update the plans to show the 6' tall screen fence.
 - f. The fence in the northeast corner of the project site must not extend to the 22nd Avenue right-of-way but should extend along the east boundary line straight north to the north lot line.
 - g. Landscape Plan also shows a mix of what appears to be Dogwoods, Viburnums and Arborvitae along the South lot line, but the swale detail only shows Arborvitae. Please clarify. Plants must be shown to meet the minimum planting sizes as required by the Zoning Ordinance and must include the required trees per the Zoning Ordinance..
 - h. Obtain all applicable wetland determination permits from the Wisconsin Department of Natural Resources.

- i. A Floor Plan for the Leasing Office / Mail Delivery Building must be submitted.
- j. An Operational Plan which details the management of the site, maintenance of the site for trash, roads and snow removal, and methods of parcel and other deliveries must be submitted.
- k. The portion of 25th Avenue right-of-way north of 20th Place must be vacated by the Common Council. The City will initiate this vacation when the engineering plans have been approved and an erosion control permit has been obtained by the applicant. The right-of-way must be vacated, and the applicant must obtain the vacated right-of-way from the adjacent owners and submit for approval of and record a Lot Line Adjustment Survey to detach the vacated right-of-way from the abutting owners and attach it to the subject parcel prior to the issuance of building permits.
- l. Additional detail on the phased installation of fencing and landscaping is required. Final phasing plan to be approved by City Staff.

City Assessor

General Issues

2. City Assessor

City City-Development-
1 Kenosha
2626534049
idtdc1@kenosha.org

- Owner should be made aware that currently approximately 12 acres of the land for this project is classified as Agricultural use value. The change to Commercial use will incur a valuation increase, as well as a conversion charge that would be issued by Kenosha County.

Mark Eberle
2626345588
meberle@nmbosc.net

We are aware.

3. City Assessor

City City-Development-
1 Kenosha
2626534049
idtdc1@kenosha.org

- Clarification will be needed as to whether this development will be condos or apartments. Depending on the type of development the City Assessor's office may require additional information.

Mark Eberle
2626345588
meberle@nmbosc.net

Development is planned as condominium.

4. City Assessor

City City-Development-
1 Kenosha
2626534049
idtdc1@kenosha.org

- The Assessor's Office will require actual costs on the project to be submitted prior to their office signing off on the final occupancy permit(s). The costs supplied should include: all improvement costs to the raw land (retention, site elevation work, site ingress/egress work, etc.), all materials and labor associated with construction of the building, all materials and labor associated with site improvements (asphalt/concrete work, site lighting, site landscaping, etc.), and all developer's profit

Mark Eberle
2626345588
meberle@nmbosc.net

Understood and we will provide the requested costs prior to requesting final occupancy permits.

5. City Assessor

City City-Development-
1 Kenosha
2626534049
idtdc1@kenosha.org

- It is assumed the project will take longer than one year to complete due to the 3-phase approach of the submittal. Thus the Assessor's Office will require partial costs on the project to be submitted for Jan 1 of the year the project is a partial construction. The costs supplied should include: all improvement costs to the raw land (retention, site elevation work, site ingress/egress work, etc.), all materials and labor associated with construction of the building, all materials and labor associated with site improvements (asphalt/concrete work, site lighting, site landscaping, etc.), and all developer's profit.

Mark Eberle
2626345588
meberle@nmbosc.net

Understood and we will provide incremental project costs as requested.

6. City Assessor

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

- If the project progresses as apartments, the Assessor's Office will formally request all asking rents for the property at time of occupancy and also a pro forma income and expense statement that details expected stabilized performance at the property. Owner/developer should be aware that "No person may object to a valuation; if that valuation was made by the assessor or the objector using the income method; unless the person supplies to the assessor all of the information about income and expenses, as specified in the manual under s. 73.03 (2a), that the assessor requests. " Wis Stat 70.47(7)(af)

Mark Eberle
2626345588
meberle@nmbosc.net

Project is being developed as condominium.

City Development

General Issues

7. General Issue

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

Parcels ending in 101-101 and 101-041 must be combined via parcel combination, lot line adjustment survey or certified survey map. This will be a condition of pulling a building permit.

Mark Eberle
2626345588
meberle@nmbosc.net

A certified survey map will be submitted following approval of the development plans.

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

This comment will remain open until the Certified Survey Map is submitted and approved. Note that the City has received the petition to vacate the 25th Avenue right-of-way.

[Edited By City City-Development-1 Kenosha]

10. General Issue

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

Multiple varying building elevations were provided (A, A1, B, B1 and B2) but there is no indication on any of the Site Plans of anything other than buildings A and B.

Mark Eberle
2626345588
meberle@nmbosc.net

Please see the updated site plan with each building labeled with the associated exterior Type and orientation.

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

Received Site Plan with building types identified. Please clarify if there is no longer a Type B2 Elevation.

13. Fencing

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

No detail was provided on fencing. Provide height, material and location of all fencing. Fencing along the south lot line must be site-obscuring fencing.

Mark Eberle
2626345588
meberle@nmbosc.net

The fence height will be 5' high installed 6 inches inside the entire length of the property line. Material is Aluminum. Please elevation and details.

City City-Development-1 Kenosha 2626534049 idtcd1@kenosha.org Site Plan shows a 5' tall fence, but swale detail on the Landscape Plan shows a 4' tall fence. Section 14.08 of the Zoning Ordinance requires a 6' tall solid fence for any buffer strip that is less than 25' in width. This would apply to the south, east and north lot lines. Please update the plans to show the 6' tall screen fence.

The fence in the northeast corner of the project site must not extend to the 22nd Avenue right-of-way but should extend along the east boundary line straight north to the north lot line.

Landscape Plan also shows a mix of what appears to be Dogwoods, Viburnums and Arborvitae along the South lot line, but the swale detail only shows Arborvitae. Please clarify. Plants must be shown to meet the minimum planting sizes required by the Zoning Ordinance and must include the required trees per the Zoning Ordinance.

[Edited By City City-Development-1 Kenosha]

14. Wetlands

City City-Development-1 Kenosha 2626534049 idtcd1@kenosha.org Plans show that there are wetlands on the north end & in the middle of the site. Have permits been obtained from DNR & Army Corps of Engineers?

Mark Eberle 2626345588 meberle@nmbosc.net The Army Corps of Engineers (ACOE) has determined the site contains no Waters of the United States; therefore, ACOE authorization is not necessary for any proposed wetland disturbances. We are in the process of obtaining all necessary permits from the Wisconsin DNR. These will be submitted to the City for their records when received.

City City-Development-1 Kenosha 2626534049 idtcd1@kenosha.org Understood, comment will remain open until DNR concurrence is provided.

15. Sidewalks

City City-Development-1 Kenosha 2626534049 idtcd1@kenosha.org There is currently a sidewalk on the extension of 25th Avenue (not sure of the condition of this walk) with the extension of the private road to 20th place will this walk be replaced? Show that the sidewalks connect on the plans.

Mark Eberle 2626345588 meberle@nmbosc.net The sidewalk from 20th Place to the development are proposed to be removed. The development has connections to the public sidewalk at the 22nd Ave entrance as well as the multi-use trail.

City City-Development-1 Kenosha 2626534049 idtcd1@kenosha.org Staff will make a recommendation to the City Plan Commission that this sidewalk remain connected to the public sidewalk on 20th Place.

60. Street Vacation

City City-Development-
1 Kenosha
2626534049
idtc1@kenosha.org

The portion of 25th Avenue right-of-way north of 20th Place must be vacated by the Common Council. The City will initiate this vacation when the engineering plans have been approved and an erosion control permit has been obtained by the applicant. The right-of-way must be vacated, and the owner must submit for approval of and record a Lot Line Adjustment Survey to detach the vacated right-of-way from the abutting owners and attach it to the subject parcel prior to the issuance of building permits.

62. Leasing Office

City City-Development-
1 Kenosha
2626534049
idtc1@kenosha.org

A Floor Plan for the Leasing Office / Mail Delivery must be submitted.

63. General Issue

City City-Development-
1 Kenosha
2626534049
idtc1@kenosha.org

The fence in the northeast corner of the project site must not extend to the 22nd Avenue right-of-way but should extend along the east boundary line straight north to the north lot line.

Fire Department

General Issues

35. Automatic Fire Alarm System Required

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Fire Alarms Required

Fire alarms shall be required in all buildings on the plan. All alarms will be individually monitored by the address of the building. Fire alarm plans shall be reviewed and permitted through the Fire Prevention Bureau. Upon completion of the building final testing of the system shall be completed before final occupancy of the building is gained.

Mark Eberle
2626345588
meberle@nmbssc.net

Each building will be designed per IBC 2015 and local fire code. Building plans will be in compliance with the fire department rules and NFPA when we apply and submit for building permit review.

36. Fire Sprinkler System Required

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Automatic Fire Sprinkler System Required:

Plans and specifications shall accompany each submittal, including all applicable plan review and acceptance testing fees. Plans will be reviewed and conditionally approved by the Fire Prevention Bureau. All sprinkler systems require a permit issued by the Department of Neighborhood Services and Inspections prior to the start of any work. The Kenosha Fire Department shall witness all field and acceptance testing.

Mark Eberle
2626345588
meberle@nmbssc.net

Each building will be designed per IBC 2015 and local fire code. Building plans will be in compliance with the fire department rules and NFPA when we apply and submit for building permit review.

37. Building & Door Numbers

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Building & Door Numbers

Building address number size and shall meet the requirements within NFPA 10.11.1 & 10.11.2.

10.11.1 - New and existing buildings shall have approved address numbers placed in a position to be plainly legible and visible from the street or road fronting the property.

10.11.2 - Address numbers shall be a minimum of 4 in. high with a minimum stroke of 1/2 in.

Man door number size shall be approved by the FPB, AHJ prior to installation on the building.

Mark Eberle
2626345588
meberle@nmbsc.net

Final building plans will comply with the requirements.

38. Class Three Standpipe Required

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Class Three Standpipe Required:

Class Three Standpipe will be installed in the building at all exit man doors.

Mark Eberle
2626345588
meberle@nmbsc.net

Final building plans will comply with the requirements.

39. Fire Department Connections

Fire Department Connections:

Every Automatic Fire Sprinkler System shall have the following:

a. A Concrete Pumper Pad The concrete pumper pad shall have the following minimum dimensions of concrete: length of twenty (20') feet; width of fifteen (15') feet; and depth of six (6~~±~~) inches. The concrete pad must be designed and maintained to allow for the parking of at least a Fire Department pumper apparatus of sixty-five thousand (65,000 lbs.) pounds gross weight on it, without failure. Said pumper pad must have included within it or have within five (5') feet adjacent to it, a fire hydrant containing at least one (5") inch Storz connection and at least two (2) two and one-half (2.5~~±~~) inch outlets having national standard threads; if the fire hydrant is located off the concrete pumper pad, the concrete pumper pad must be oriented such that an outlet having the Kenosha standard threads must face the concrete pumper pad, and there may not be any obstruction between the fire hydrant and the pumper pad that would impede a firefighter's access to the fire hydrant from the pumper pad, or that would inhibit the operation of a hose extending from the fire hydrant to the Fire Department pumper apparatus.

b. A Fire Department Connection.The Fire Department Connection shall be operationally connected to the Automatic Fire Sprinkler System. The Fire Department Connection shall have a five (5~~±~~) inch Storz connection. The Fire Department Connection shall be located to comply with all of the following: no further than five (5') feet from the pumper pad; no further than five (5') feet from a fire hydrant; and no closer to the building it services than the height of the building that it services. There may not be any obstruction between the fire hydrant and the Fire Department Connection that would impede a firefighter's access to the Fire Department Connection, or that would inhibit the operation of a hose extending from the fire hydrant to the Fire Department Connection. There may not be any obstruction between the pumper pad and the Fire Department Connection that would impede a firefighter's access to the Fire Department Connection, or that would inhibit the operation of a hose extending from the pumper pad to the Fire Department Connection.

c. Locking Cap Covers. All Fire Department Connections, regardless of when installed, shall be occluded by a Locking Cap capable of being removed by appropriate Key Wrenches carried by the Fire Department. Due to the need for consistency and efficiency in emergency situations, and due to the proprietary nature of Key Wrenches, the Fire Department may specify a certain manufacturer or a limited number of manufacturers that provide Locking Caps removable by a particular Key Wrench configuration.

d. Bollards. Fire hydrants associated with the pumper pad and any private hydrants on the property shall be protected from vehicular traffic damage with bollards. The Bureau shall determine the number of bollards needed.

e. Signage. All Fire Department Connections will be labeled on the building or pumper pad; signage to be approved by the Bureau.

Mark Eberle
2626345588
meberle@nmbosc.net

- a. A 15' x 20' concrete pumper pad has been proposed in front of each remote Fire Department Connection.
- b. A remote Fire Department Connection per Fire Department specifications has been proposed for each sprinklered building.
- c. A Knox Box #5002 locking cap is proposed for all Fire Department Connections per City of Kenosha detail as shown on sheet 24.
- d. Bollards are proposed in accordance with the Fire Department Pumper Pad FDC detail shown on sheet 24.
- e. All Fire Department Connections will include a sign with the appropriate building address. A note for this was added to the FDC detail on sheet 24.

40. Fire Hydrant Colors

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Fire Hydrant Colors.

- a. Yard fire hydrants fed by municipal water shall be safety blue in color.
- b. Yard fire hydrants fed by a fire pump shall be painted a solid yellow color.
- c. No person shall alter the color or paint scheme of an approved private fire hydrant.

Mark Eberle
2626345588
meberle@nmbosc.net

All fire hydrant within the development are fed by municipal water and are proposed as 'safety blue' in color.

41. Knox Box

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Knox Box Required

A Knox Box shall be required on all buildings, multiple may be needed on larger buildings, per 3.30 (C) of the City of Kenosha Ordinance.

Mark Eberle
2626345588
meberle@nmbosc.net

Final building plans will comply with the requirements.

42. Lower Exit Signage

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

EXIT SIGNS IN PROXIMITY OF FLOOR

Floor proximity exit signs as required per 3.27 of the City of Kenosha Ordinance. In the office sections of the buildings.

Mark Eberle
2626345588
meberle@nmbosc.net

Final building plans will comply with the requirements.

43. Means of Egress

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Exits and Egress shall comply with Wi SPS 321.03

Mark Eberle
2626345588
meberle@nmbosc.net

Final building plans will comply with the requirements.

44. Private Fire Hydrant

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Private Fire Hydrants.

a. Number of Required Private Fire Hydrants. Additional private fire hydrants shall be provided around the perimeter of the building so that no private fire hydrant is more than Five hundred (500') feet from other approved private fire hydrants measured by normal access routes.

b. Setback Distances. Private fire hydrants shall be no more than five (5') feet from the curb or edge of the street or fire apparatus access. Alternative setback distances may be considered when site conditions conflict with the provisions of this section.

c. Hydrant. There will be a need to locate a private hydrant.

Mark Eberle
2626345588
meberle@nmbssc.net

- a. All private fire hydrants are places such that no private fire hydrant is more than 500' from other approved private fire hydrants measured by normal access routes.
- b. All private fire hydrants are located 3' behind the back of curb.
- c. There are six private fire hydrants proposed throughout the site spaced such that no building is more than 500' from a hydrant.

45. Road Requirements

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Onsite Road Requirements

Private roads in the complex shall be a minimum of 22 feet wide with no parking signage on the inner side of the road.

2nd Access shall be Required, unless a turn around can be developed

Mark Eberle
2626345588
meberle@nmbssc.net

The private roadway is a minimum of 24' wide. The site has a looped road which is considered a turn around. The site also has two access points, one from 22nd Avenue and one from 25th Avenue.

46. Water Supply System Design

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

System Design.

a. Valves. Control valves shall be provided to limit the number of yard fire hydrants and/or Automatic Fire Sprinkler Systems affected by maintenance, repair or construction. Valves shall be located at street intersections and at no more than eight hundred (800) foot intervals, and sectional control valves shall be placed so that no more than a combination of yard fire hydrants and Automatic Fire Sprinkler Systems can be isolated between control valves. Valves shall be provided in each yard fire hydrant lead.

b. Outlet Position. All yard fire hydrants shall be positioned so that the largest outlet faces the street or fire apparatus access route.

c. Yard Fire Hydrant Height above Grade. The center of the lowest outlet cap of the yard fire hydrants shall be at least eighteen (18~~±~~) inches above grade and not more than twenty-three (23~~±~~) inches above grade.

d. Yard Fire Hydrant Specifications. All yard fire hydrants shall meet the specifications of the Kenosha Fire Department.

e. Bollards. Yard fire hydrants shall be protected from vehicular traffic damage with bollards. The Bureau shall determine the number of bollards needed.

Mark Eberle
2626345588
meberle@nmbosc.net

- a. Control valves have been added to the design such that the valve spacing is no greater than 800' and at intersections.
- b. The largest hydrant outlet is facing the private roadway.
- c. All hydrants are designed to be between 18"-23" above grade.
- d. The City of Kenosha Fire Hydrant is proposed for all private yard hydrants. The hydrant detail is shown on sheet 24.
- e. All private yard hydrants are protected by curb and bollards.

47. City of Kenosha Requirements

Jacob Waldschmidt
2626534201
idtkfd1@kenosha.org

Submitted drawings and acknowledgements of fire alarms and sprinkler systems shall address the Code requirements for the City of Kenosha and the State of Wisconsin

Mark Eberle
2626345588
meberle@nmbosc.net

Understood.

Kenosha Water Utility

30. Sewer Impact Fee

Leif Jackson
2626534201
idtkwu2@kenosha.org

A six inch (6") water meter has an associated Sewer Impact Fee of \$164,074.00, which must be paid in full at the time permits are obtained. Note large meters such as this have a considerable lead time to procure and therefore the size should be finalized with KWU as soon as practical. A form of this note will appear on all subsequent reviews.

Mark Eberle
2626345588
meberle@nmbasc.net

Understood.

Leif Jackson
2626534201
idtkwu2@kenosha.org

A six inch (6") water meter has an associated Sewer Impact Fee of \$164,074.00. As the existing structure at 1932 22nd Avenue (which is to be razed through this Project) was previously served with a five-eighths inch (5/8") water meter, the Sewer Impact Fee associated with this meter (\$3,281.00) can be applied towards the new meter. Therefore, the Sewer Impact Fee for the proposed six inch (6") meter will be \$160,793.00 (\$164,074.00 - \$3,281.00 = \$160,793.00), which must be paid in full at the time permits are obtained. Note the existing meter must be returned to KWU in order to receive the credit. Also note that this credit may only be applied towards a new water meter. A form of this note will appear on all subsequent reviews.

57. FDC Lines - Elevation

Leif Jackson
2626534201
idtkwu2@kenosha.org

It is recommended, but not required by KWU, that all FDC lines be installed with a minimum of five-and-a-half feet (5.5') of cover to help ensure the lines do not freeze. Note that the water in these lines is normally stagnate and therefore more prone to freeze than a main with regularly flowing water. Additionally, please note that the Utility Conflict Resolution Table contains an error regarding Crossing #3. Per the table, this line is to be installed at an elevation of 625.67-feet, which would be above ground level.

58. Tracer Wire - Water

Leif Jackson
2626534201
idtkwu2@kenosha.org

On Sheet 19, under "Water Main and Service Notes," please include the following note: *Water mains/services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at all hydrants and near the edge of the building; wire to be enclosed in a locator box labeled "water" on the cover.*

59. Tracer Wire - Sanitary

Leif Jackson
2626534201
idtkwu2@kenosha.org

On Sheet 19, under "Sanitary Sewer Notes," please include the following note: *Sanitary mains/services shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface near the edge of the building; wire to be enclosed in a locator box labeled "sewer" on the cover.*

Stormwater

48. SWMP

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

SWMP

A regional basin (Petretti - located south of CTHL and east of 27th Ave) is available to meet the stormwater volume control criteria. To use the regional basin for this development, the following conditions shall be met:

1. It must be shown how the drainage from this development will be conveyed to the Petretti Basin in the 2-yr, 10-yr, and 100-yr storm events without increasing flooding on adjacent properties, or on public right-of-way.
2. Fee in lieu of detention shall be provided. For determination of fee, please provide a cost estimate for a theoretical required stormwater detention volume presuming the regional basin is not available. The cost estimate should consider an equitable distribution of the cost for land, engineering design, construction, and maintenance of the regional stormwater facility.
3. It appears that the cast-in-place concrete weir structure will require excavation and partial removal of the existing low-flow concrete channel downstream of the proposed weir. Please indicate restoration of the existing low-flow channel downstream of the proposed weir. Proposed restoration should include erosion protection appropriate for a detention basin overflow.
4. Existing pipes crossing the Kenosha County Multi-Use Trail must convey the 100 year storm to the basin without surcharging to grade. Alternatively, any proposed work or changes to drainage patterns on or across the trail would require appropriate approvals from Kenosha County and WE Energy.

Mark Eberle
2626345588
meberle@nmbssc.net

1. The site will be drained via private storm sewer system. The storm sewer system has been sized for the 100-year storm to safely convey runoff to the Petretti Basin without increasing flooding on adjacent properties, or on public right-of-way.
2. A construction cost estimate for the theoretical required storm water detention volume has been prepared and is included with this resubmittal.
3. The proposed weir is intended to discharge to the existing concrete low-flow channel. The existing concrete low-flow channel will only be removed where the new water surface is being proposed. It will remain upstream and downstream of the proposed water surface. Therefore, restoration is not needed for those areas.
4. The development is discharging to existing storm sewer system that exist under the Multi-Use Trail. No additional crossings are proposed.

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

- 2 - It appears the cost estimate for theoretical basin assumes only 0.9 ac-ft volume storage. Please adjust cost estimate to store all of required volume.
- 3 -Section AA of Detail 7 on Sheet 23 suggests that the cast in place outlet control structure foundation will extend 2 feet downstream and nearly 4 feet below the existing downstream low flow concrete channel. It will not be possible to construct such a structure without removing part of the low flow channel. Please indicate on plans restoration of the existing low-flow channel downstream of the proposed weir. A detail in plan view is recommended to show connection of the weir to the concrete channel. Additionally the City can not maintain rip rap at the upstream end. Extension of a concrete flume to the wet pool is preferred, or other low maintenance erosion measures.

Please call to discuss.

[Edited By City PublicWorks-2 Kenosha]

49. Storm Sewer

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

Calculations shall be provided to show the proposed storm sewer meets the City of Kenosha Stormwater Management Criteria for Design of Storm Sewers, last revised November 2016 (Form #PWU005)

- a. Storm sewers shall be sized for the largest peak flow produced by the 10 year rational method design storm at a minimum.
- b. Where a storm sewer discharges into a storm water detention facility the pipe sizing must take into account the loss of hydraulic gradient due to rising water levels in the basin.
- c. The hydraulics of the storm sewer shall be designed to operate under full or partially full conditions for the 10 year storm. A design that would cause the storm sewer to surcharge during the 10 year storm is not acceptable.
- d. Design calculations must show actual storm water taken in by each inlet draining to the proposed storm sewer and the amount of storm water by-passing the inlet.

1. Comparison of the number of drainage areas shown in the storm sewer design calculation sheet and the number of drainage areas shown in STM-1 and STM-2 suggests that not all drainage areas are shown on drainage area maps. Please ensure that all drainage areas shown in the calculation sheet are delineated on the drainage area maps.

2. There appears to be approximately 1 acre of drainage area missing in the listing of drainage areas in the storm sewer design calculation sheet. Please ensure that all areas are accounted for in the storm sewer design.

3. If the regional detention basin will be used for volume control requirements, the existing pipes connecting the site to the existing basin must be shown to convey the 100 year storm.

Mark Eberle
2626345588
meberle@nmbosc.net

- a. The proposed storm sewers have been sized for the 100-year storm using the rational method, exceeding the requirement for a 10-year storm.
 - b. The development is discharging to the existing storm sewer system; therefore, utilizing the existing discharge elevations. Given that the site is immediately adjacent to the regional basin, runoff from this site will discharge into the basin long before the remainder of the regional basin's drainage area reached the basin. Therefore, tailwater from the basin is not expected to impact the discharge of runoff from this site.
 - c. The proposed storm sewer system is sized for the 100-year storm, exceeding the minimum requirements for the 10-year storm.
 - d. Our storm sewer design spreadsheet shows the amount of storm water bypassing each inlet in column 15. The proposed design does not have any structures with bypassing runoff.
1. The drainage area map and spreadsheets have been updated to include all drainage areas.
 2. The drainage area map and spreadsheets have been updated to include all drainage areas.
 3. The existing storm sewers were added to the design calculations to demonstrate capacity for the 100-year storm. The existing storm sewer downstream of EX CB 6 and EX CB 7 demonstrate sufficient capacity to convey the 100-year storm to the basin. For EX CB 6, the entire upstream drainage area (minus the development site) was added into the spreadsheet in column 17. While the spreadsheet demonstrates sufficient capacity, it should also be noted in the case of EX CB 6 that our site will achieve peak discharge prior to the upstream drainage area. Therefore, the numbers shown in the spreadsheet will be conservative.

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

According to HWLs in SWMP, storm sewers will be submerged at structures CB6 and CB7. HGL calculations must be provided ensuring that the 10-year storm can be conveyed without surcharging the crown of the pipe upstream of structures CB6 and CB7.

Additionally, if the 100-year storm will be conveyed to the basin through storm sewer, HGL calculations must be provided ensuring the 100-year storm can be conveyed without exceeding freeboard requirements to buildings. Surchage above the rim is acceptable if there is an 6" freeboard or an overflow path.

The corresponding storm regional basin HWL shall be used as the downstream boundary condition in each calculation.

[Edited By City PublicWorks-2 Kenosha]

50. SWMP

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

An overflow path shall be provided for all sumps in streets and any sumps in the interior of developments to protect against damage in the case of plugged inlets or runoff in excess of the storm sewer capacity. The required capacity of this overflow route shall be equal to that required for the 100-year, 24-hour runoff.

- a. A minimum of 6-inches of freeboard must exist between the design water surface and any building or electrical enclosure.
- b. Sumps around yard inlets must only be in the immediate area of the inlet with no electrical transformer or telephone enclosure in the area subject to the flooding if the inlet plugs.
- c. Sizing of any proposed grassed swales and curb cuts must be included to show appropriate freeboards have been met in the 100-year, 24-hour storm event.

Please show overland flow routes for the 100 year storm flows that will not be conveyed by storm sewer design.

Mark Eberle
2626345588
meberle@nmbssc.net

- a. The ponding depth at each structure is shown in column 14 of the storm sewer sizing spreadsheet. The ponding depth does not exceed three inches in any location. All finished first floor elevations and transformers are greater than nine inches above an adjacent storm structure.
- b. Electrical transformer and telephone enclosures will be kept from any sump area.
- c. The grass swale along the North property line has been analyzed and confirmed capacity for the 100-year storm event. The swale capacity information is included in the storm sewer drainage area map in Appendix B of the SWMP.

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

It is understood that the storm sewers are intended to convey 100-year flow. No action is requested to address this comment at this time, however this comment will remain open pending resolution of HGL calculation comments.

52. SWMP

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

The design of open channels shall be based on the 100-year, 24-hour storm for all drainage areas equal to or greater than 2-acres in size.

1. Please provide capacity calculations for the drainage swale on the north property line.
2. A proposed retaining wall appears within the flow line of the proposed drainage swale on the north property line on Sheet 10. Please ensure that proposed drainage features are free from obstructions to flow. Recommend including typical sections for retaining wall locations.

[Edited By City PublicWorks-2 Kenosha]

Mark Eberle
2626345588
meberle@nmbssc.net

The swale along the North property line is the only swale that is greater than 2 acres.

1. Capacity calculations for the swale along the North property line are included in the storm sewer drainage area map in Appendix B of the SWMP.
2. The swale capacity calculations show that the HWM during the 100-year storm is lower than the base of the wall. While some flow along the wall would be acceptable, the HWM is maintained below the wall.

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

Elevation contours are unclear on site grading and erosion control plan. Please show retaining wall section or detail.

55. Agreements

City PublicWorks-2
Kenosha
2626534155
idtpw2@kenosha.org

An agreement will be required for construction within the City basin. City legal will draft the language for the developer's review. Final approval by Common Council is required.

Mark Eberle
2626345588
meberle@nmbcsc.net

Understood.

City PublicWorks-2
Kenosha
2626534155
idtpw2@kenosha.org

Provide a cost estimate for the work within the City's Petretti Basin. This will be the basis for assurances associated with the pond work and will be defined in the construction agreement.

61. SWMP

City PublicWorks-2
Kenosha
2626534155
idtpw2@kenosha.org

The pond work shall be shown on the phasing plan and included with Phase 1.

Traffic

General Notes

34. General Notes

City PublicWorks-1
Kenosha
262-653-4050
idtpw1@kenosha.org

1. City of Kenosha Public Works Department will assign all permanent or temporary building addresses, please do not include an address until an address is assigned.
2. Please provide security site lighting for drive accesses to garages central courtyard and pool areas. Please provide photometric fc levels at property line with those fc levels abutting residential properties at 0.50 maximum foot candles and for non-residential properties 0.75 fc. Illumination shall meet the minimum standards of the Illuminating Engineering Society of America.
3. Please add ADA compliant parking stall detail with sign to plans.
4. Any work in City RW will need city permit, This is to include such things as any work in RW necessary for private street connection to 25th Ave, removing any abandoned curb cuts on 22nd Ave, etc.
5. For authorization and requirements to construction pedestrian path in WE Energies easement please contact: Julie M Simmons" <Julie.Simmons@we-energies.com
6. For authorization and requirements to connect pedestrian path to Kenosha County Regional Bike Trail, please contact: **Shelly Billingsley**, Shelly.Billingsley@kenoshacountywi.gov, 262-653-1870
7. At Leasing Office and Clubhouse parking stalls perpendicular to sidewalk need to be 7 foot wide or a vehicle bumper block placed in stall so vehicles do not encroach into minimum 5 foot wide sidewalk.
8. Substantially long pavement cut proposed into 22nd ave will have major impacts on traffic. Please provide traffic control plan minimizing these impacts during construction. This will establish a level of service minimum for contractor installing lateral. Contractor suggested changes to this minimum traffic control plan may be submitted for review during permit processing.
9. Construction entrance off 22nd Ave will need a driveway permit. Driveway needs to be paved to allow ingress and egress for construction vehicles at normal street driveway ingress and egress speeds so as not to back up traffic on 22nd Ave. Any potholes, driveway issues or other development related issues causing backups on 22nd Ave will cause driveway permit to be revoked until entrance is properly maintained and traffic flow on 22nd Av can be restored to near normal conditions.
10. Sidewalk abutting development needs to be useable and maintained at all times, except as otherwise authorized by City permit.

[Edited By City PublicWorks-1 Kenosha]

Mark Eberle
2626345588
meberle@nmbcsc.net

1. Understood.
2. Please see attached photometrics. The lighting for the courtyard and pool deck will be submitted at a later date. The lighting for the access isle between garage will be mounted on the exterior walls of the garages and controlled with darkness sensor photo eye.
3. An ADA parking stall detail has been added to sheet 17 of the plans.
4. Understood.
5. We will coordinate with We Energies and obtain all necessary approvals.
6. We will coordinate with Kenosha County and obtain all necessary approvals.
7. All sidewalks immediately in front of parking stalls have been increased to 7' wide.
8. It is proposed for the City to install the appropriate curb cut during the City's 22nd Avenue reconstruction project. An exhibit showing the limits of the curb cut are included with this submittal for your review.
9. Understood.
10. Understood. Existing sidewalks along 22nd Avenue will be maintained during construction. Towards the end of the project, the sidewalk fronting this development along 22nd Avenue will be removed and replaced.

- 1. Addressed,
- 2. Please clearly show photometric fc levels at property line abutting residential properties with those fc levels at 0.50fc maximum.
- 3. Addressed,
- 4. 25th Ave RW, north of 20th Place, is to be vacated by City with developer acquiring that same vacated RW from new property owners to construct development's private secondary entrance. Any connecting work in 20th Place RW will need city permit at time of construction.
- 5. In progress,
- 6. In progress,
- 7. Please more clearly label 7 foot sidewalk width at Leasing Office and Clubhouse parking stalls perpendicular to sidewalk.
- 8. Addressed in that Developer has, independently of City involvement, contracted with City's 22nd Ave contractor to install developer's waterline during 22nd Ave project.
- 9. Regarding proposed street connection to 22nd Ave:
 - a. Curb cut for proposed street construction has been coordinated with City's 22nd Ave contractor. City's Contractor will place sod behind curb as a 1 year temporary measure to allow developer time to install city approved paved approach.
 - b. At time of constructing street connection to 22nd Ave, a permit to excavate in RW will be required. Street connection needs to be maintained to allow for vehicles to operate at normal speeds so as not to back up traffic on 22nd Ave. Driveway to be maintained so that vehicles do not track soils onto 22nd Ave. Any potholes, or other development related issues causing backups on 22nd Ave will need to be addressed promptly.
- ?10 Sidewalk abutting development needs to be useable and maintained at all times, except as otherwise authorized by City permit.
- 11. Existing sidewalk on 25th Ave, north of 20th Place, needs to be shown on plans. Please show existing sidewalk with a connection to the west and north development sidewalks.
- 12 A minimum of a 5-foot-wide paved ADA compliant sidewalk must be provided for east side of the proposed private 25th Ave entrance with connecting northerly and westerly to sidewalk in development.

[Edited By City PublicWorks-1 Kenosha]

City of Kenosha
Vicinity Map
North Trails
Conditional Use Permit



 Subject Property





P: 262-653-4030
E: idtcd1@kenosha.org

625 52nd Street, Kenosha, WI 53140
www.kenosha.org

Project Overview

#1227995

Project Title: North Trails Condominium
Application Type: Electronic Review
Workflow: Express Workflow

Jurisdiction: City of Kenosha
State: WI
County: Kenosha

Contact Information

Project Contact - Agent/Representative

Mark Eberle
Nielsen Madsen + Barber
1458 Horizon Blvd., 200
Mt. Pleasant, WI 53406
P:2626345588
meberle@nmbsc.net

Property Owner

Todd Stanich
North Trails LLC
7524 39th Avenue
Kenosha, WI 53142
P:602-214-2762
todd@douglaskentdevelopment.com

Please indicate which of the following contacts are included in this project.: Engineer

Engineer

Mark Eberle
Nielsen Madsen + Barber
1458 Horizon Blvd., 200
Mt. Pleasant, WI 53406
P:2626345588
meberle@nmbsc.net

Project Information

Project Address: SE CORNER OF 19TH STREET AND 22ND AVENUE

Project Type: Conditional Use Permit

Project Description:

Prepare a site grading, drainage utility, pavement and storm water management plan for the proposed 144 unit Condominium Development.

Project Valuation: \$20,000,000.00

Is the property subject to any easements, covenants, or other restrictions?: No

Please indicate the restrictions that apply.:

Proposed Use: Residential

Total Square Footage of Project: 192676

Project Acreage: 14.01



CITY PLAN COMMISSION
Staff Report - Item #5

Thursday, May 9, 2024 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Resolution by the Mayor – To approve a two-lot Certified Survey Map for property located at 3002 128th Avenue. (38th Street, LLC) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Ruffalo, District 16, has been notified. The Common Council is the final review authority upon recommendation of the City Plan Commission and Public Works Committee.

LOCATION AND ANALYSIS:

Site: 3002 128th Avenue

1. The applicant has submitted the attached Certified Survey Map to divide the existing single parcel into two parcels. Proposed Lot 1 is the distribution building currently under construction, known as Uline WQ. Lot 2 is a future phase of development for Uline.
2. There are no current or pending building or zoning code violations on the property.
3. The Certified Survey Map was sent to City Departments for their review. Their comments are included in the attached Resolution.
4. The Certified Survey Map generally complies with Chapter 17 of the Code of General Ordinances.

RECOMMENDATION:

A recommendation is made to approve the Certified Survey Map, subject to the attached Resolution.

Brian Wilke, AICP, Development Coordinator

Rich Schroeder, Deputy Director

RESOLUTION # ____ - 24

BY: THE MAYOR

A TWO-LOT CERTIFIED SURVEY MAP
Property at 3002 128th Avenue (38th Street, LLC)

BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that a Certified Survey Map relating to two parcels at 3002 128th Avenue is herein and hereby approved subject to the following conditions:

1. Compliance with all applicable State and City Codes and Ordinances.
2. Payment of all applicable fees, including recording fees, by the applicant.
3. The Common Council Approval signature line must be updated to reflect David F. Bogdala as Mayor.
4. The Certified Survey Map must be amended to show a minimum fifty-five foot (55') right-of-way dedication along the north side of 38th Street / County Trunk Highway N as measured from the section line from 128th Avenue to 136th Avenue.
5. Payment of all Storm Water Utility fees, unpaid taxes and unpaid Special Assessments prior to recording.
6. A digital copy of the Certified Survey Map, in GIS Shape File format, shall be provided to the City prior to recording.
7. Compliance with the Development Agreements between the City of Kenosha, Kenosha Water Utility and 38th Street, LLC recorded with the Kenosha County Register of Deeds as Document Number 1948890 and Document Number 1961222.
8. The Certified Survey Map shall be null and void if not recorded within six (6) months of approval by the Common Council.
9. Stormwater management/maintenance easements will be required for the development and are not shown on the Certified Survey Map, therefore separate exhibits will be required.
10. Compliance with all the preceding conditions as a prerequisite for authorizing Mayor and City Clerk-Treasurer to sign the Certified Survey Map.

ATTEST:

Michelle Nelson, City Clerk-Treasurer

APPROVE:

David F. Bogdala, Mayor

DATED:

PASSED:



P: 262-653-4030
E: idtcd1@kenosha.org

625 52nd Street, Kenosha, WI 53140
www.kenosha.org

Project Overview

#1298472

Project Title: Uline WQ - CSM

Jurisdiction: City of Kenosha

Application Type: Electronic Review

State: WI

Workflow: Express Workflow

County: Kenosha

Contact Information

Project Contact - Agent/Representative

Brad Folkert
38th St. LLC
12575 Uline Drive
Pleasant Prairie, WI 53158
P:262-612-5590
bfolkert@uline.com

Property Owner

Brad Folkert
38th St. LLC
12575 Uline Drive
Pleasant Prairie, WI 53158
P:262-612-5590
bfolkert@uline.com

Please indicate which of the following contacts are included in this project.: Developer,Engineer

Developer

Brad Folkert
38th St. LLC
12575 Uline Drive
Pleasant Prairie, WI 53158
P:262-612-5590
bfolkert@uline.com

Engineer

Andrew Shoaf
Pinnacle Engineering Group
20725 W. Watertown Road, 100
Brookfield, WI 53186
P:2627548888
andrew.shoaf@pinnacle-engr.com

Project Information

Project Address: NW AND SW OF THE 128TH AVE. AND 38TH ST. INTERSECTION

Project Type: Certified Survey Map

Project Description:

CSM to divide the existing lot that Uline WQ is located on into two lots.

Project Valuation: \$14,000,000.00

Is the property subject to any easements, covenants, or other restrictions?: Yes

Please indicate the restrictions that apply.:

There is a Wisconsin Electric Power Company Easement and a

North Shore Gas Company Easement located within the properties.

Proposed Use: Distribution warehousing
Project Acreage: 175.7687

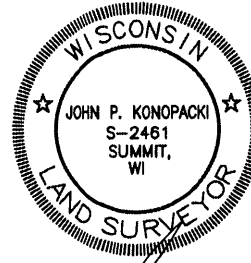
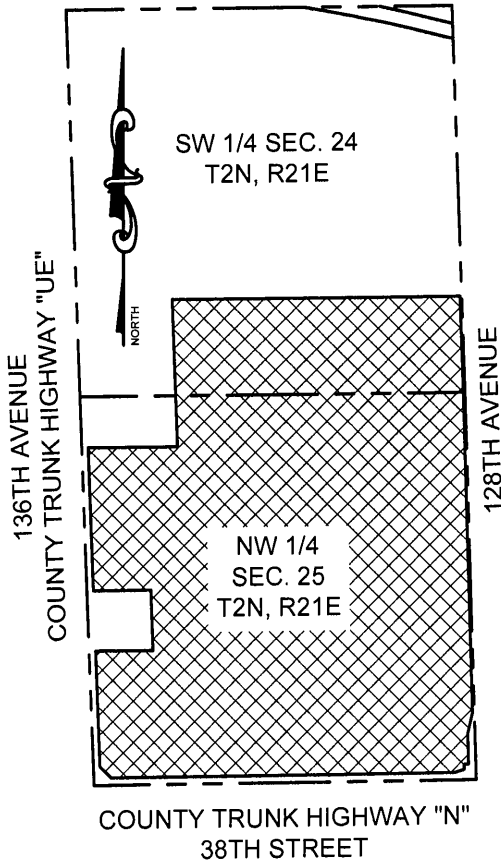
Total Square Footage of Project: 7656483

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 3051, in the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 24 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 25, all in Township 2 North, Range 21 East, City of Kenosha, Kenosha County, Wisconsin.

VICINITY SKETCH
SCALE 1"=1000'

BURLINGTON ROAD
STATE TRUNK HIGHWAY "142"



MARCH 29, 2024

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The east line of the Northwest 1/4 of Section 25, Township 2 North, Range 21 East has a bearing of 50°33'48"E.
- Tax Key No. 45-4-221-252-0305 - Unplatted Lands owned by John S. Reidenbach. Tax Key No. 45-4-221-252-0310 - Unplatted Lands owned by Robert F Borsche. Tax Key No. 45-4-221-252-0315 - Unplatted Lands owned by Joseph M. Ricchio.

Prepared for:
38TH STREET LLC
12575 Uline Drive
Pleasant Prairie, WI 53158

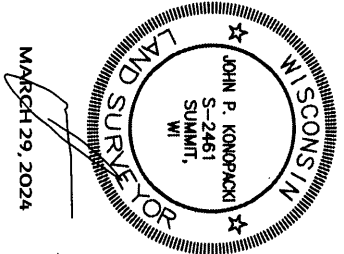
Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

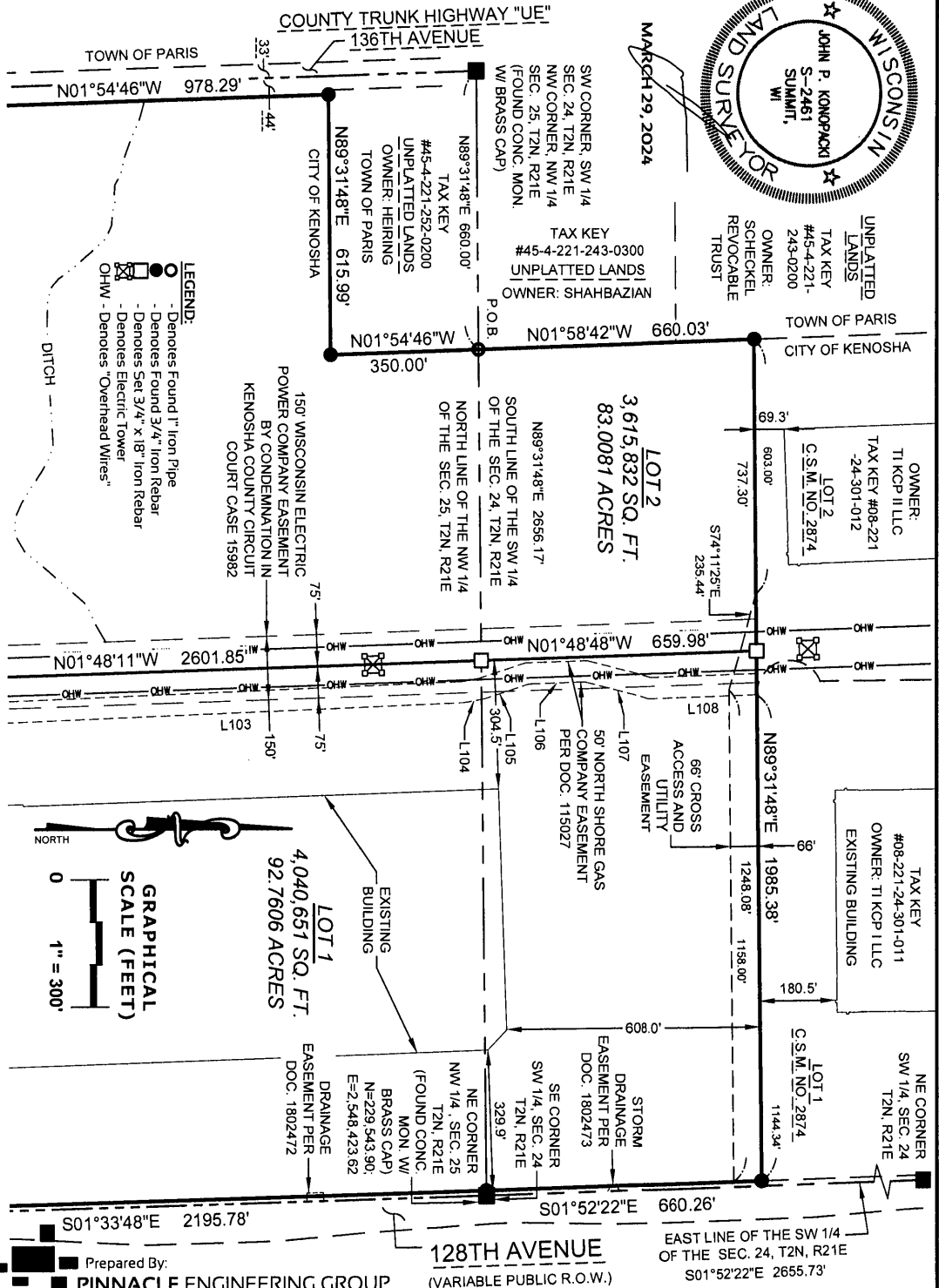
DRAFTED BY: ST
PEG JOB#437.00D
SHEET 1 OF 6

CERTIFIED SURVEY MAP NO. _____

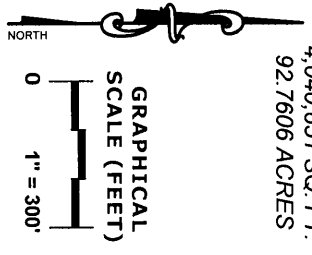
Being Lot 1 of Certified Survey Map No. 3051, in the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 24 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 25, all in Township 2 North, Range 21 East, City of Kenosha, Kenosha County, Wisconsin.



MARCH 29, 2024



- LEGEND:**
- - Denotes Found "I" Iron Pipe
 - - Denotes Found 3/4" Iron Rebar
 - ⊠ - Denotes Set 3/4" x 18" Iron Rebar
 - ⊞ - Denotes Electric Tower
 - OHW - Denotes "Overhead Wires"



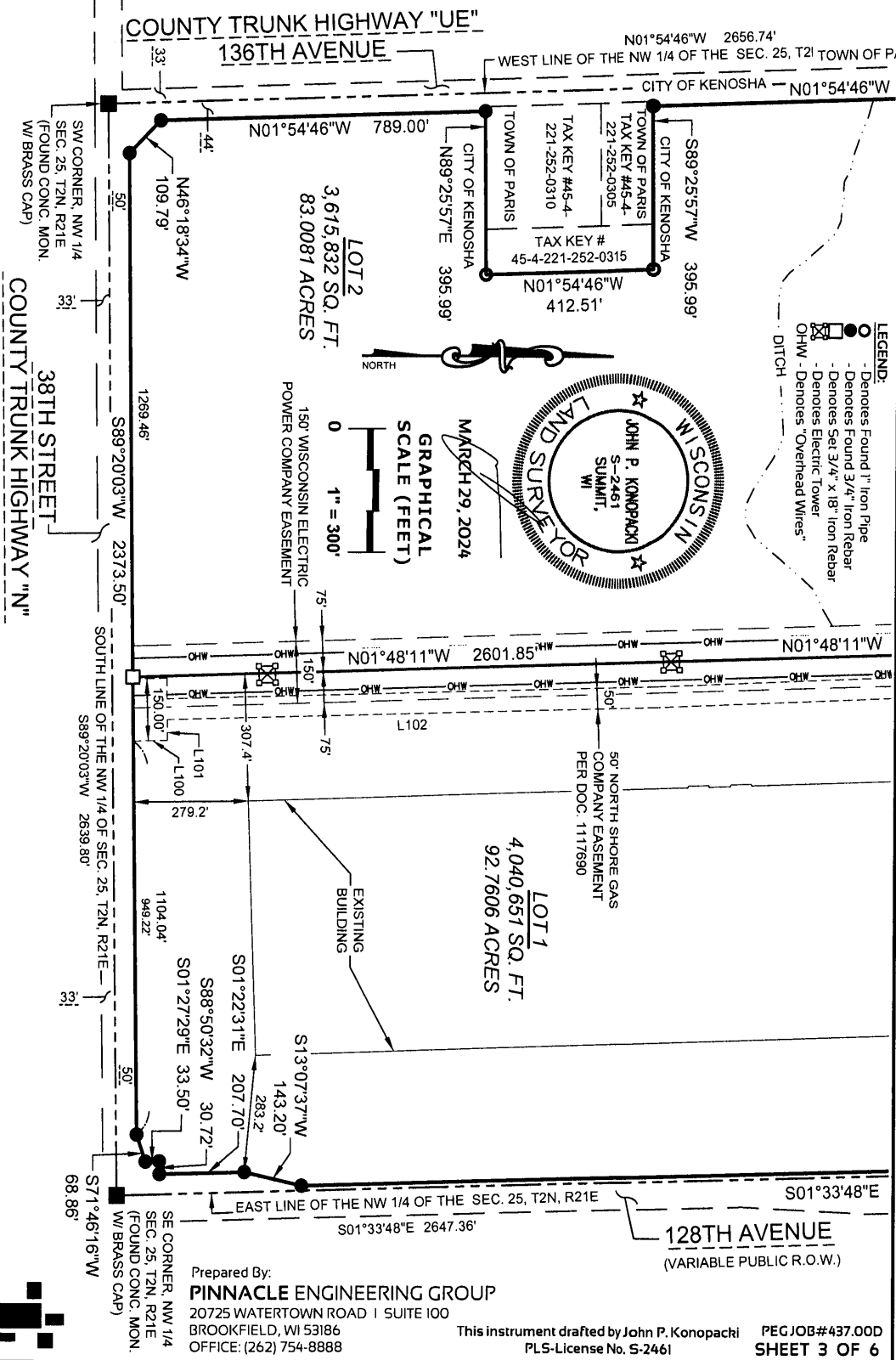
Prepared By:
PINNACLE ENGINEERING GROUP
 20725 WATERTOWN ROAD | SUITE 100
 BROOKFIELD, WI 53186
 OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PL5-License No. S-2461

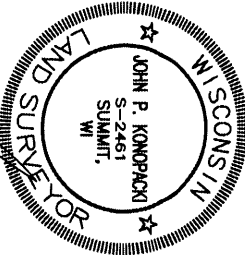
PEG JOB#437.00D
SHEET 2 OF 6

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 3051, in the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 24 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 25, all in Township 2 North, Range 21 East, City of Kenosha, Kenosha County, Wisconsin.



- LEGEND:**
- Denotes Found 1" Iron Pipe
 - Denotes Found 3/4" Iron Rebar
 - Denotes Set 3/4" x 18" Iron Rebar
 - Denotes Electric Tower
 - Denotes "Overhead Wires"
 - OHW - Denotes "Overhead Wires"
 - DITCH



MARCH 29, 2024
 GRAPHICAL SCALE (FEET)
 0 1" = 300'

Prepared By:
PINNACLE ENGINEERING GROUP
 20725 WATERTOWN ROAD | SUITE 100
 BROOKFIELD, WI 53186
 OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki PEGJOB#437.00D
 PLS-License No. S-2461 SHEET 3 OF 6

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 3051, in the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 24 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 25, all in Township 2 North, Range 21 East, City of Kenosha, Kenosha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided Lot 1 of Certified Survey Map No. 3051, as recorded in the Register of Deeds office for Kenosha County as Document No. 194855, in the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 24 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 25, all in Township 2 North, Range 21 East, City of Kenosha, Kenosha County, Wisconsin, which is bounded and described as follows:

Commencing at the southwest corner of the Southwest 1/4 of said Section 24; thence North 89°31'48" East along the south line of said Southwest 1/4, 660.00 feet to the Point of Beginning;

Thence North 01°58'42" West, 660.03 feet to the south line of Certified Survey Map No. 2874;
Thence North 89°31'48" East along said south line, 1985.38 feet to the west right of way line of 128th Avenue;
Thence South 01°52'22" East along said west right of way line, 660.26 feet;
Thence South 01°33'48" East along said west right of way line, 2195.78 feet;
Thence South 13°07'37" West along said west right of way line, 143.20 feet;
Thence South 01°22'31" East along said west right of way line, 207.70 feet;
Thence South 88°50'32" West along said west right of way line, 30.72 feet;
Thence South 01°27'29" East along said west right of way line, 33.50 feet to the north right of way line of 38th Street - County Trunk Highway "N";
Thence South 71°46'16" West along said north right of way line, 68.86 feet;
Thence South 89°20'03" West along said north right of way line, 2373.50 feet;
Thence North 46°18'34" West along said north right of way line, 109.79 feet to the east right of way line of 136th Avenue - County Trunk Highway "UE";
Thence North 01°54'46" West along said east right of way line, 789.00 feet;
Thence North 89°25'57" East, 395.99 feet;
Thence North 01°54'46" West, 412.51 feet;
Thence South 89°25'57" West, 395.99 feet to the aforesaid east right of way line of 136th Avenue;
Thence North 01°54'46" West along said east right of way line, 978.29 feet;
Thence North 89°31'48" East, 615.99 feet;
Thence North 01°54'46" West, 350.00 feet to the Point of Beginning.

Containing 7,656,483 square feet (175.7687 acres) of land, more or less.

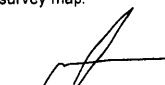
That I have made such survey, land division and map by the direction of 38TH STREET LLC, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the City of Kenosha Land Division Ordinance in surveying, mapping and dividing the land within the certified survey map.

Date: MARCH 29, 2024





John P. Konopacki
Professional Land Surveyor S-2461

Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#437.00D
SHEET 4 OF 6

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 3051, in the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 24 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 25, all in Township 2 North, Range 21 East, City of Kenosha, Kenosha County, Wisconsin.

OWNER'S CERTIFICATE

38TH STREET LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this certified survey map.

38TH STREET LLC, as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval:

1. City of Kenosha

IN WITNESS WHEREOF, the said 38TH STREET LLC has caused these presents to be signed by (name - print)

_____, (title) _____, at _____, (city) _____, _____ County, Wisconsin, on this _____ day of _____, 2024.

In the presence of: 38TH STREET LLC

Name (signature) - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, (name) _____, (title) _____, of the above named 38TH STREET LLC, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ (title) of said limited liability company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability, by its authority.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

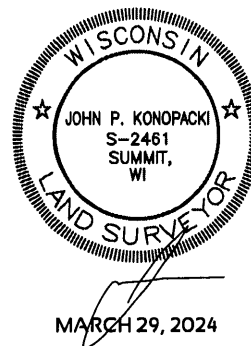
IN WITNESS WHEREOF, the said _____, has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this _____ day of _____, 2024.

Date _____ Name - Title _____

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, _____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#437.00D
SHEET 5 OF 6

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 3051, in the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 24 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 25, all in Township 2 North, Range 21 East, City of Kenosha, Kenosha County, Wisconsin.

COMMON COUNCIL APPROVAL

RESOLVED that this Certified Survey Map in the City of Kenosha, which has been filed for approval, be and hereby is approved as required by Chapter 236 of the Wisconsin Statutes.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Common Council of the City of Kenosha on the _____ day of _____, 2024, which action becomes effective upon receipt of approval of all other reviewing agencies and all conditions of the City of Kenosha's approval were satisfied as of the _____ day of _____, 2024.

Date

John M. Antaramian, Mayor

Date

Michelle L. Nelson, City Clerk/Treasurer

TREASURER'S CERTIFICATE

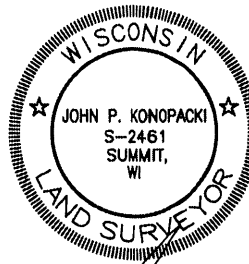
STATE OF WISCONSIN)
KENOSHA COUNTY) SS

I, _____, being duly appointed Clerk/Treasurer of the City of Kenosha, do hereby certify in accordance with the records in my office, there are no unpaid taxes or special assessments as of _____ day of _____, 2024 on any of the lands in the Certified Survey Map.

Date

Michelle L. Nelson, City Clerk/Treasurer

EASEMENT LINE TABLE		
LINE NO.	BEARING	DISTANCE
L100	N01°33'43"W	83.01'
L101	S89°20'03"W	50.01'
L102	N01°33'43"W	1193.23'
L103	N02°20'30"W	1282.84'
L104	N09°58'57"W	49.21'
L105	N18°13'03"W	112.47'
L106	N01°53'03"W	132.82'
L107	N14°27'57"E	160.00'
L108	N01°53'03"W	259.48'
L109	S38°18'00"W	23.69'
L110	S51°42'00"E	20.00'



MARCH 29, 2024

Prepared By:
PINNACLE ENGINEERING GROUP
 20725 WATERTOWN ROAD | SUITE 100
 BROOKFIELD, WI 53186
 OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#437.00D
SHEET 6 OF 6



CITY PLAN COMMISSION
Staff Report – Item #6

Thursday, May 9, 2024 at 5:00 pm
Municipal Building
625 52nd Street – Room 202 – Kenosha, WI 53140

Resolution by the Mayor- To Amend the Official Map for the City of Kenosha, Wisconsin, to include the Attachment of Parcel No(s): 80-4-222-273-0230, 80-4-222-273-0320, 80-4-222-273-0401, and 80-4-222-273-0406 in the Town of Somers, Kenosha County in Wisconsin with the Approved City of Kenosha/Town of Somers Cooperative Plan under Section 66.0307 of the Wisconsin Statutes. (Schutz Container, Property Owner) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Ruffalo, District 16 , has been notified. A Class II Notice will be published. The Common Council is the final review authority.

LOCATION AND ANALYSIS:

Site:

1. The City of Kenosha and Town of Somers Agreement calls for the property located south of CTH "S" and west of 64th Avenue to be transferred into the City.
2. An Attachment Agreement is pending approval by the Common Council to attach the 85.998 acres into the City. The attachment is being requested by the property owners.
3. This Resolution will amend the Official Map to place the property in the City.
4. The Resolution also places the property in the 16th Aldermanic District and in new Ward 93.

RECOMMENDATION:

A recommendation is made to approve the attached Resolution.

Rich Schroeder, Deputy Director

RESOLUTION NO. _____

BY: THE MAYOR

TO AMEND THE OFFICIAL MAP FOR THE CITY OF
KENOSHA, WISCONSIN, TO INCLUDE THE ATTACHMENT OF

Parcel No(s): 80-4-222-273-0230
 80-4-222-273-0320
 80-4-222-273-0401
 80-4-222-273-0406

Located at: 38th Street

IN THE TOWN OF SOMERS, KENOSHA COUNTY, WISCONSIN,
IN ACCORDANCE WITH THE APPROVED CITY OF
KENOSHA/TOWN OF SOMERS COOPERATIVE PLAN UNDER
SECTION 66.0307 OF THE WISCONSIN STATUTES
[Schutz Container Systems, Inc., Property Owner]

WHEREAS, the City of Kenosha, Wisconsin, has established an Official Map
pursuant to Section 62.23(6), Wisconsin Statutes; and,

WHEREAS, the City of Kenosha, Wisconsin, and the Town of Somers,
Wisconsin, entered into the City of Kenosha/Town of Somers Cooperative Plan Under Section
66.0307, Wisconsin Statutes, which was approved by the Wisconsin Department of
Administration, Intergovernmental Relations, Municipal Boundary Review, on August 8, 2005,
and the First Amendment to the City of Kenosha/Town of Somers Cooperative Plan under
Section 66.0307 of the Wisconsin Statutes, approved by the Wisconsin Department of
Administration, Intergovernmental Relations, Municipal Boundary Review, on September 15,
2015; and,

WHEREAS, it was in the best interest for the public health, safety, and welfare of
the City of Kenosha/Town of Somers to attach territory known as Parcel Nos.

80-4-222-273-0230, 80-4-222-273-0320, 80-4-222-273-0401, and 80-4-222-273-0406 located in the Town of Somers, Kenosha County, Wisconsin, to the City of Kenosha, Wisconsin; and,

WHEREAS, on June 3, 2024, the Common Council for the City of Kenosha, Wisconsin, approved an Attachment and Zoning District Classification Ordinance under Section 66.0307, Wisconsin Statutes, for Parcel Nos. 80-4-222-273-0230, 80-4-222-273-0320, 80-4-222-273-0401, and 80-4-222-273-0406, located in the Town of Somers, Kenosha, Wisconsin, to be attached to the City of Kenosha, Wisconsin, with the zoning district classification designated therein.

WHEREAS, Parcel Nos. 80-4-222-273-0230, 80-4-222-273-0320, 80-4-222-273-0401, and 80-4-222-273-0406 attached to the City of Kenosha, Wisconsin pursuant to the Attachment and Zoning District Classification Ordinance approved by the Common Council for the City of Kenosha, Wisconsin on June 3, 2024, is within the following Districts:

- 1st Congressional District
- 22nd State Senate District
- 64th State Assembly District
- 15th County Board District
- Kenosha Unified School District

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that pursuant to the authority of Section 62.23(6)(c), Wisconsin Statutes, the Official Map of the City of Kenosha, Wisconsin, be and hereby is amended to include the designation of the attached territory formerly of the Town of Somers, County of Kenosha, Wisconsin, known as Parcel Nos. 80-4-222-273-0230, 80-4-222-273-0320, 80-4-222-273-0401, and 80-4-222-273-0406 legally described and shown on attached Exhibit "A".

BE IT FURTHER RESOLVED that Parcel Nos. 80-4-222-273-0230, 80-4-222-273-0320, 80-4-222-273-0401, and 80-4-222-273-0406 attached to the City of

Kenosha pursuant to the Attachment and Zoning District Classification Ordinance approved by the Common Council for the City of Kenosha, Wisconsin on June 3, 2024, constitutes the 93rd Ward of the City of Kenosha, subject to the Ordinances, rules and regulations of the City governing Wards and Aldermanic Districts.

BE IT FURTHER RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that Parcel Nos. 80-4-222-273-0230, 80-4-222-273-0320, 80-4-222-273-0401, and 80-4-222-273-0406 attached to the City of Kenosha pursuant to the Attachment and Zoning District Classification Ordinance approved by the Common Council for the City of Kenosha, Wisconsin on June 3, 2024, constitutes City of Kenosha Voting Ward 93 and Ward 93 is adjoined to the polling place with Wards 48, 49, 51, 52, 60, 61, 72, 73, 80, 81, and 93 for voting purposes as allowed by Section 5.15(6)(b), Wisconsin Statutes.

BE IT FURTHER RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that the City Clerk/Treasurer is directed to send a copy of this Resolution to the County Clerk for referral to the Kenosha County Board.

Adopted this ____ day of _____, 2024

ATTEST: _____ City Clerk/Treasurer Date: _____
MICHELLE L. NELSON

APPROVED: _____ Mayor Date: _____
DAVID F. BOGDALA

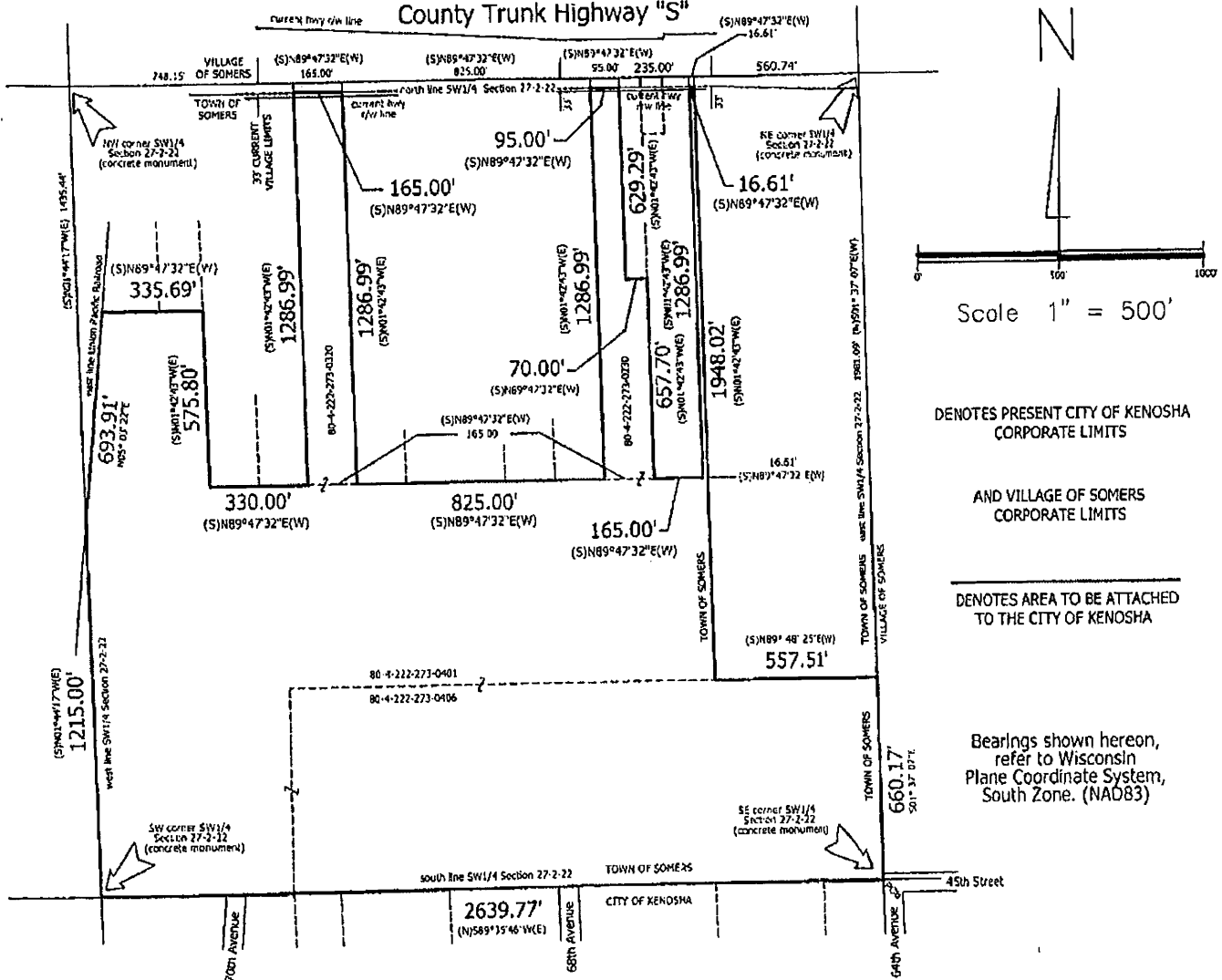
Drafted By:
MATTHEW A. KNIGHT
City Attorney

CITY OF KENOSHA
DISTRICT MAP
 ATTACHMENT ORDINANCE

SUPPLEMENT NO. _____ ACCOMPANYING ORDINANCE NO. _____

SCHUTZ CONTAINER SYSTEMS INC

County Trunk Highway "S"



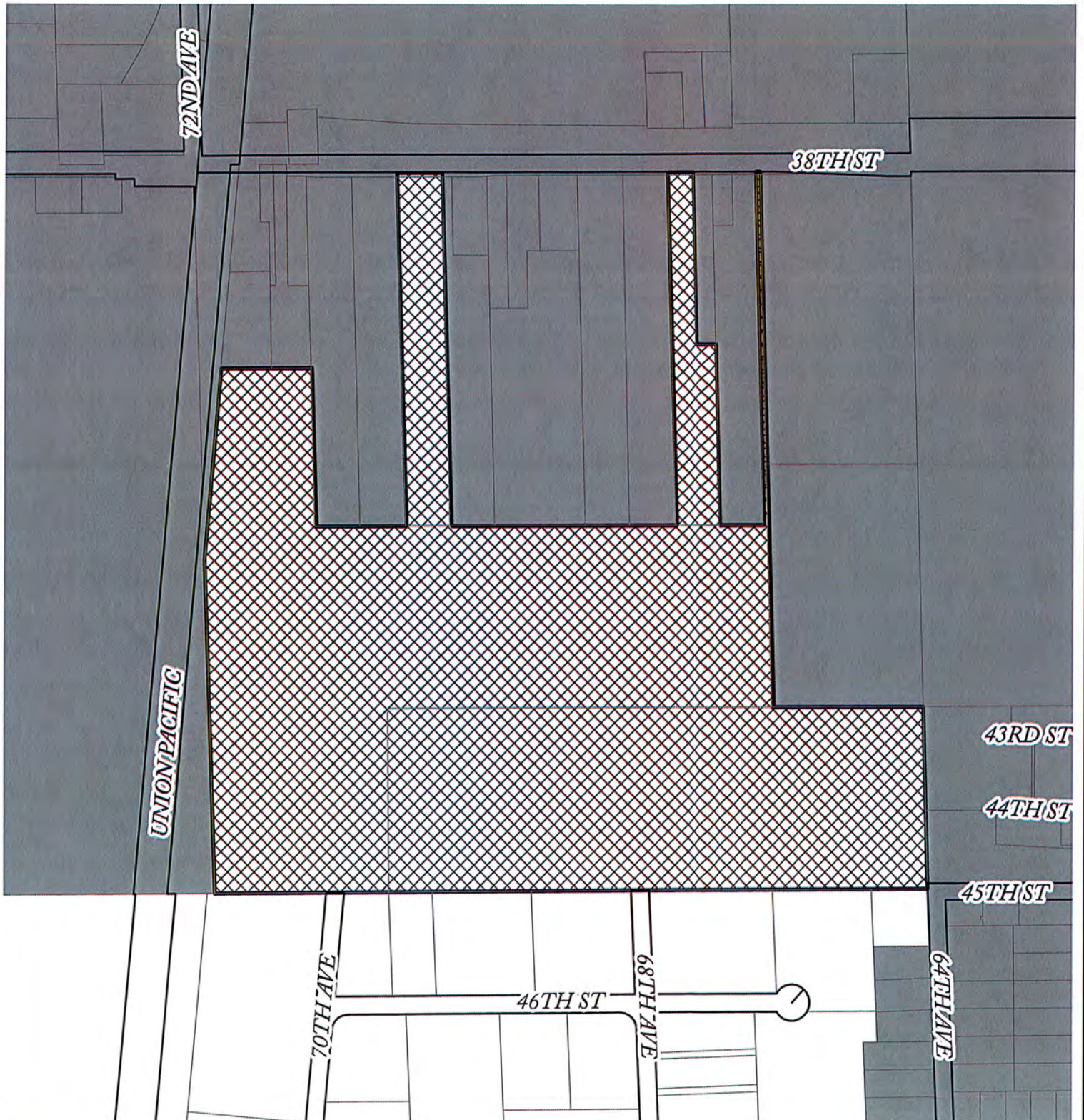
Part of the Southwest Quarter of Section 27, Town 2 North, Range 22 East of the Fourth Principal Meridian, lying and being in the Town of Somers, Kenosha County, Wisconsin and being more particularly described as follows:

Beginning at the southeast corner of said said Quarter Section; which point of beginning is on the City of Kenosha Corporate Limits line; thence S89°36'46"W along and upon the south line of said Quarter Section and the City of Kenosha Corporate Limits, 2639.77 feet and to the southwest corner of said Quarter Section; thence N01°44'17"W along and upon the west line of said Quarter Section, 1215.00 feet and to the east line of the UNION PACIFIC RAILROAD; thence N05°03'22"E along and upon said east line, 693.91 feet; thence N89°47'32"E 335.69 feet; thence S01°42'43"E 578.80 feet; thence N89°47'32"E 330.00 feet; thence N01°42'43"W 1286.99 feet and to the Village of Somers Corporate Limits; which point is 33.00 feet at right angle from the north line of the aforesaid Southwest Quarter Section; thence N89°47'32"E along and upon said Village of Somers Corporate Limits, 165.00 feet; thence S01°42'43"E 1286.99 feet; thence N89°47'32"E 825.00 feet; thence N01°42'43"W 1286.99 feet and to the Village of Somers Corporate Limits; which point is 33.00 feet at right angle from the north line of the aforesaid Southwest Quarter Section; thence N89°47'32"E along and upon said Village of Somers Corporate Limits, 95.00 feet; thence S01°42'43"E 629.29 feet; thence N89°47'32"E 70.00 feet; thence S01°42'43"E 657.70 feet; thence N89°47'32"E 165.00 feet; thence N01°42'43"W 1286.99 feet and to the Village of Somers Corporate Limits; which point is 33.00 feet at right angle from the north line of the aforesaid Southwest Quarter Section; thence N89°47'32"E along and upon said City of Kenosha Corporate Limits, 16.61 feet; thence S01°42'43"E 1948.02 feet; thence N89°48'25"E 557.51 feet and to the east line of the aforesaid Southwest Quarter Section; which line is also the Village of Somers Corporate Limits; thence S01°37'07"E along and upon said east line and Village of Somers Corporate Limits, 660.17 feet and to the point of beginning. Containing 85.998 acres, more or less. Subject to a public road over and across the most northerly portions thereof.

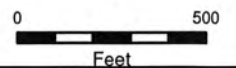
"The above District Map and Legal Description is for annexation purposes only."

Official Map Amendment

Schutz Container Systems Inc. petition for attachment



 Properties petitioned to be attached





CITY PLAN COMMISSION
Staff Report – Item #7

Thursday, May 9, 2024 at 5:00 pm
Municipal Building
625 52nd Street – Room 202 – Kenosha, WI 53140

Request to Initiate the Rezoning of property at 1334 and 1342 50th Street from B-2 Community Business District to RG-2 General Residential District. (City Plan Commission/RACK) (District 7)
PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Alderman MacKay, District 7, is the Alderman where the property is located. Property owners within 100 feet of the proposed rezoning will be notified when the Public Hearing is scheduled.

LOCATION AND ANALYSIS:

Site: 1334 and 1342 50th Street

Vicinity Zoning/Land Use

North: RG-2 / Residential

East: B-2 / Vacant

South: IP / Institutional

West: RG-2 / Residential

1. Per Section 10.02 A. of the Zoning Ordinance, the City Plan Commission can initiate the rezoning of property.
2. The parcels are currently vacant. Two of the lots are currently zoned B-2 and one lot is zoned RG-2. The Redevelopment Authority previously approved to move forward with the future transfer of these lots to Habitat for Humanity at their March 21, 2023 meeting. The transfer would allow Habitat for Humanity to construct three new owner-occupied single family homes on the lots.
3. The Kenosha Redevelopment Authority voted to approve the City Plan Commission to initiate the rezoning of these properties at their April 30, 2024 meeting. In order for Habitat for Humanity to construct new homes on two lots, the rezoning of the properties and amendment of the City's Comprehensive Plan is required. Habitat for Humanity requested that the City Plan Commission initiate the rezoning and land use plan change prior to the property transfer.
4. A rezoning of the Parcel to *RG-2 General Residential District* would need a land use amendment with the *Comprehensive Land Use Plan for the City of Kenosha: 2035*.
5. The rezoning will be compatible with the surrounding land uses. The construction of three new owner-occupied single family homes meets the long term objectives of the redevelopment of this area, shown in the Washington Park Neighborhood Plan.

RECOMMENDATION:

A recommendation is made for the City Plan Commission to initiate the rezoning and land use plan amendment and schedule a public hearing.



Rachel Gasper, Planner



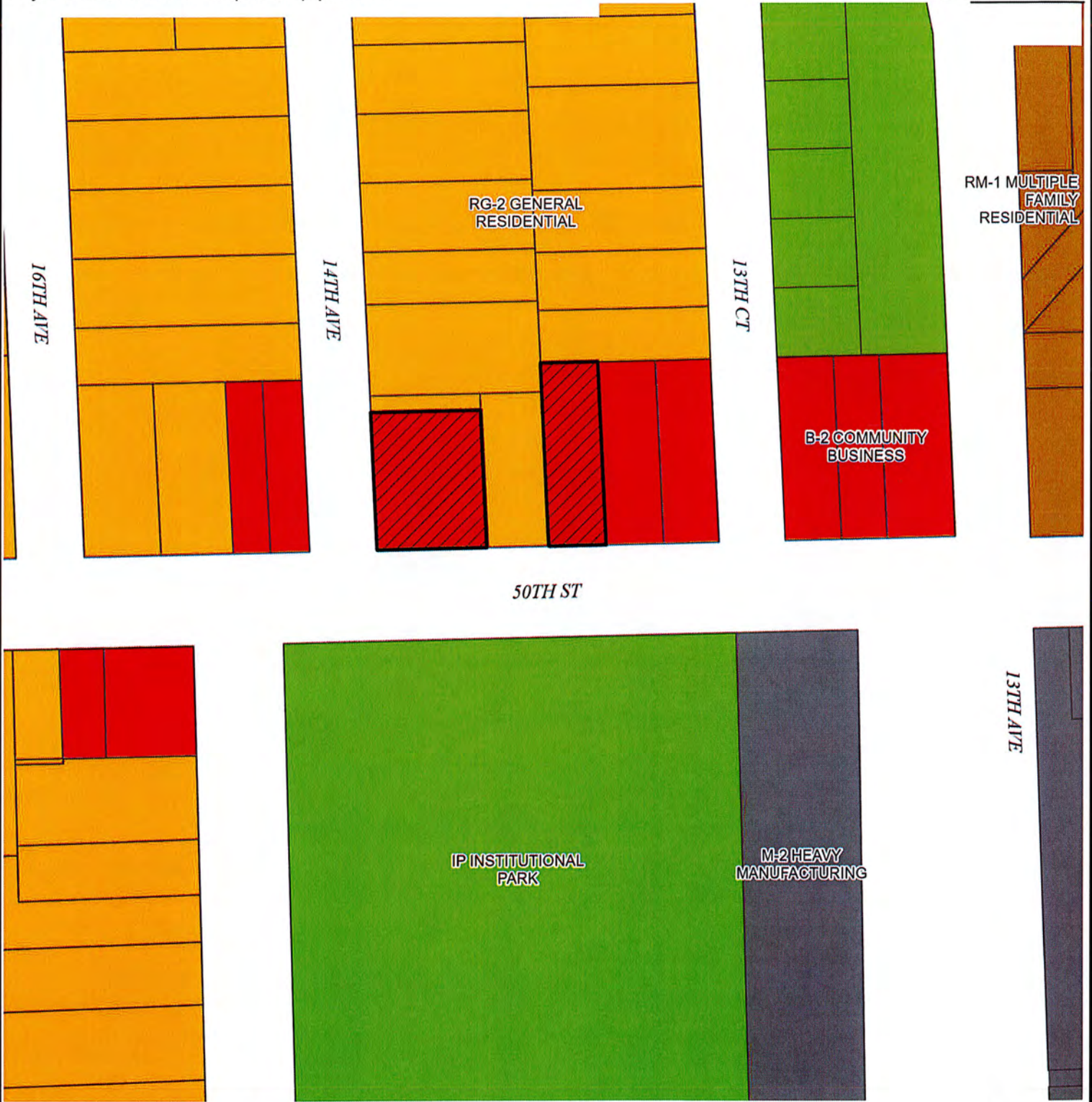
Rich Schroeder, Deputy Director

City of Kenosha


District Map Rezoning

Supplement No. Z6-24
Ordinance No. _____

City Plan Commission (RACK) petition



Property requested to be zoned from:

 B-2 Community Business to RG-2 General Residential

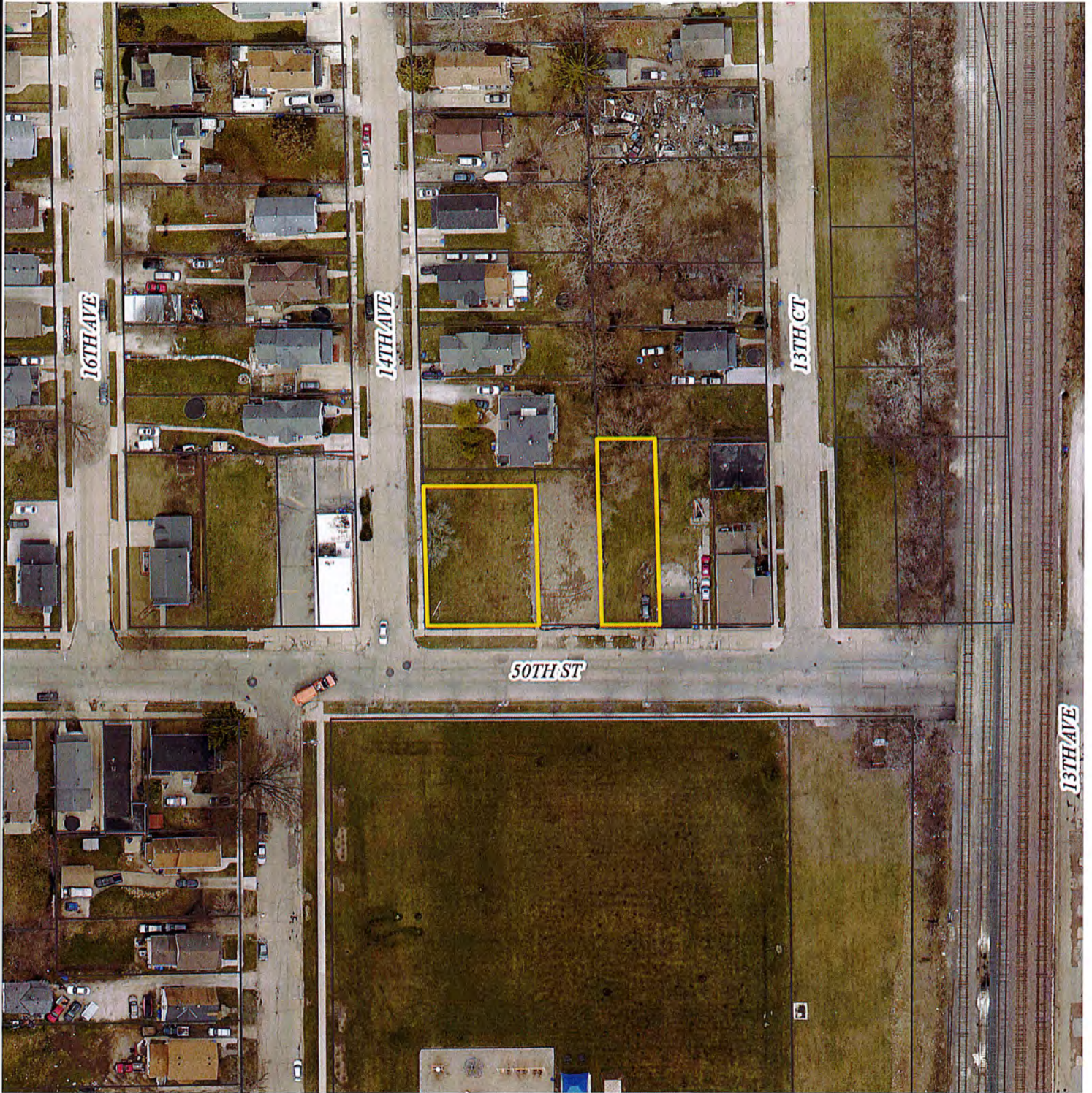



Feet

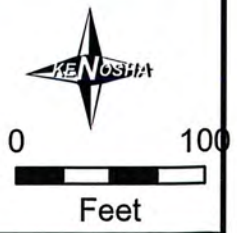
City of Kenosha

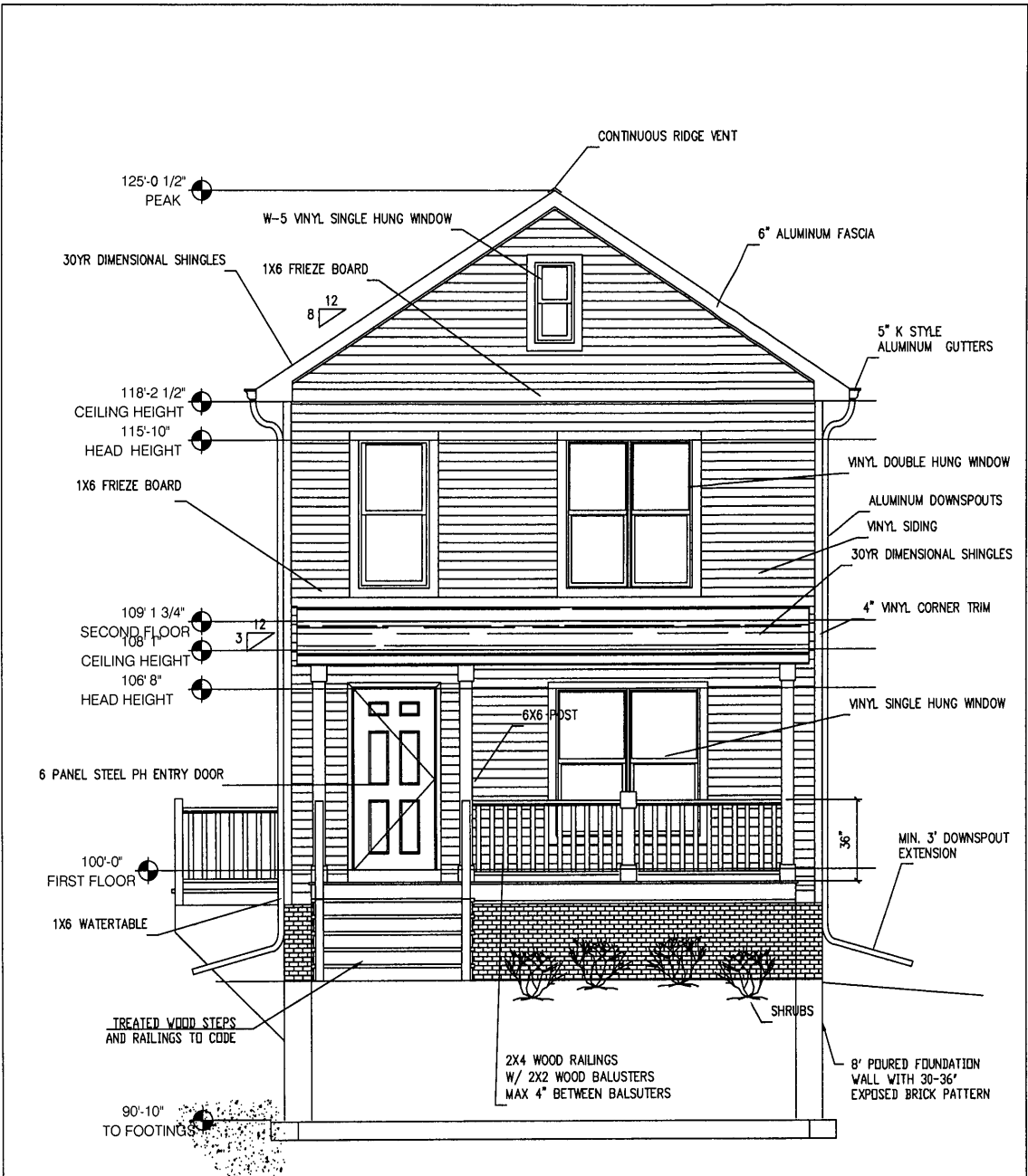
Land Use Map

City Plan Commission (RACK) Rezoning



 Property petitioned to be rezoned

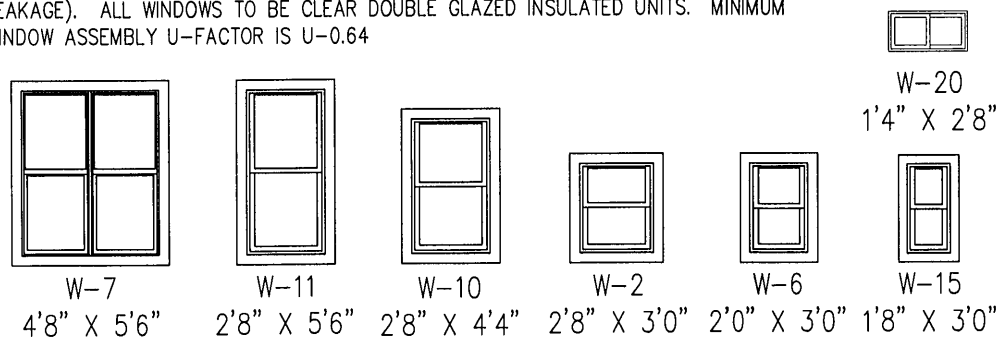




1
101 FRONT ELEVATION
SCALE: 1/4"=1'-0"

WINDOW TYPES

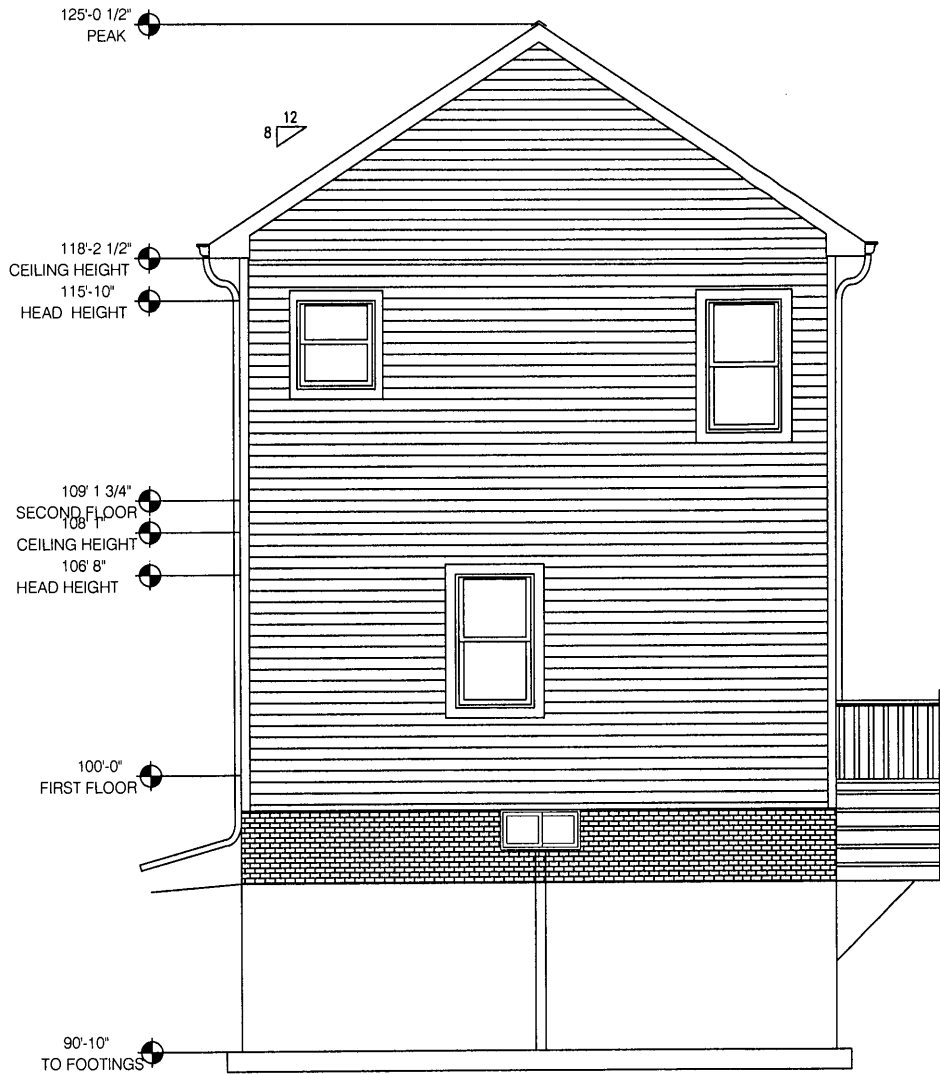
WINDOWS TO BE VINYL SINGLE HUNG WITH INSULATED GLAZING. FENESTRATION TO MEET ENERGY CONSERVATION REQUIREMENTS OF WISCONSIN SPS 322.76 AND 322.37 (AIR LEAKAGE). ALL WINDOWS TO BE CLEAR DOUBLE GLAZED INSULATED UNITS. MINIMUM WINDOW ASSEMBLY U-FACTOR IS U=0.64



KAISER II LEFT MODEL

These plans are the property of Milwaukee Habitat for Humanity, Inc.. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

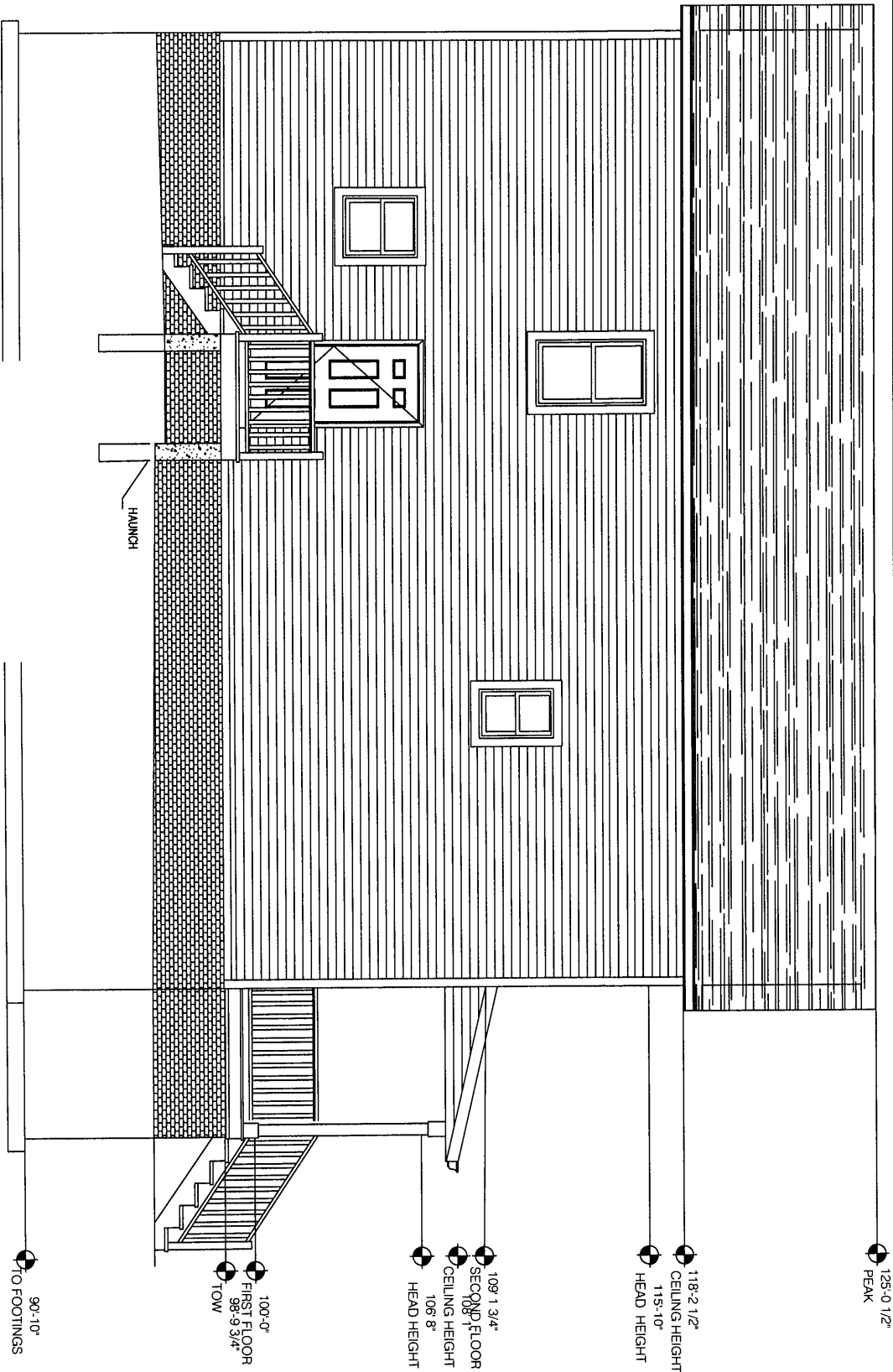
DATE: 11/10/2023



1 REAR ELEVATION
 102 SCALE: 1/4"=1'-0"

PERMIT SET

1
104
LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

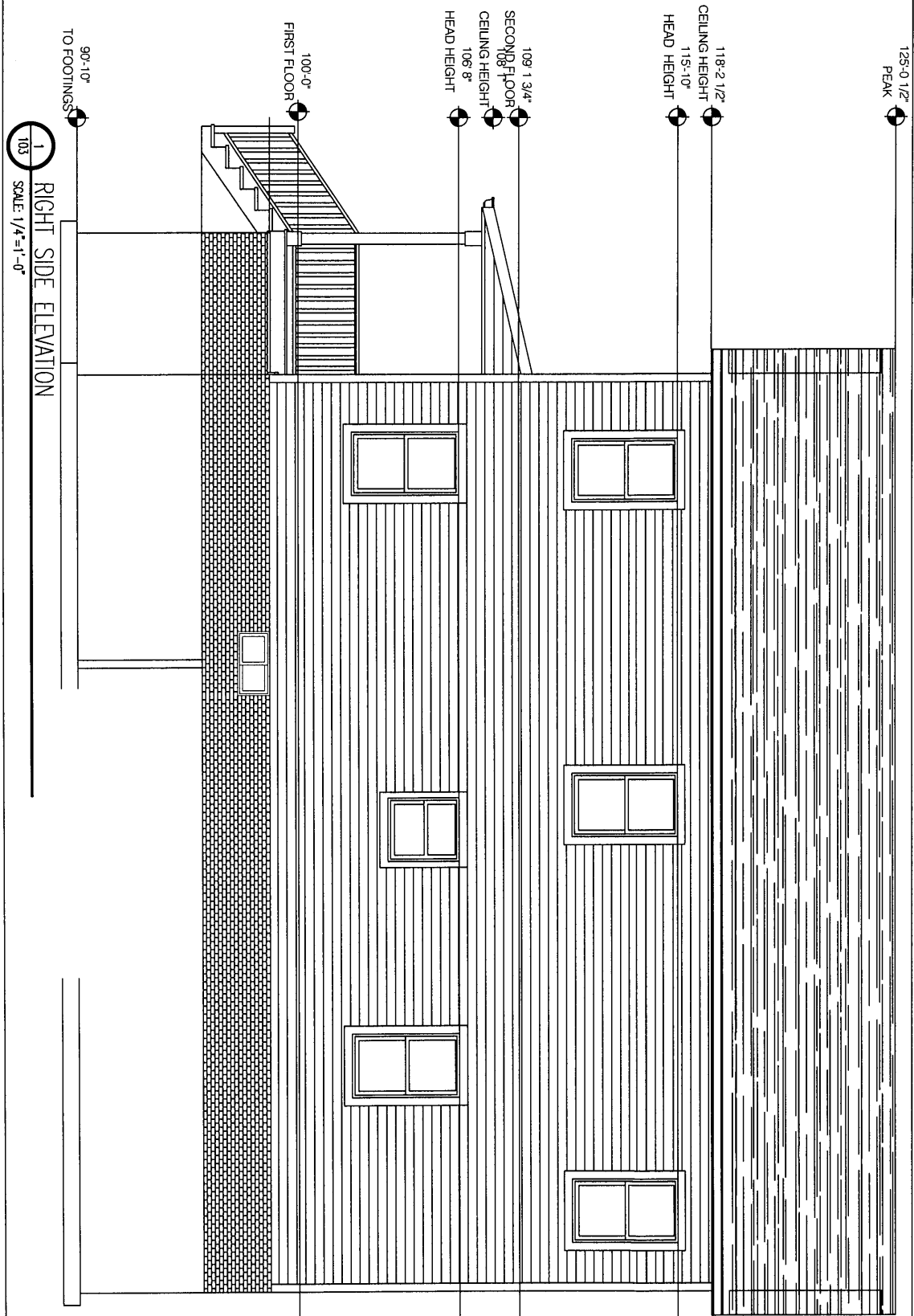


KAISER II LEFT

These plans are the property of Milwaukee Habitat for Humanity, Inc.. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

DATE: 11/10/2023

PERMIT SET

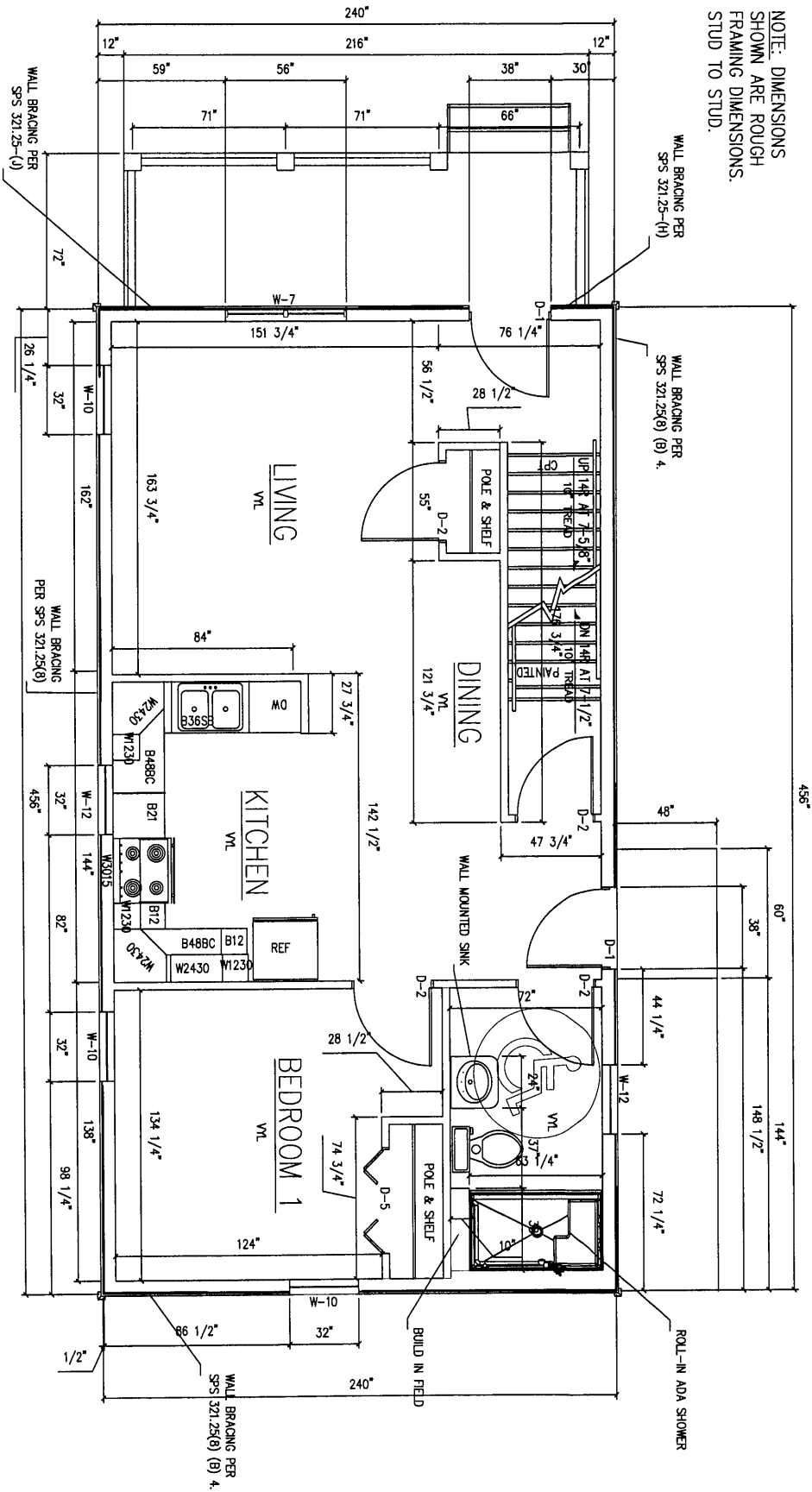


KAISER II LEFT

These plans are the property of Milwaukee Habitat for Humanity, Inc. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

DATE: 11/10/2023

NOTE: DIMENSIONS SHOWN ARE ROUGH FRAMING DIMENSIONS. STUD TO STUD.



DENOTES WALL BRACING PER SPS

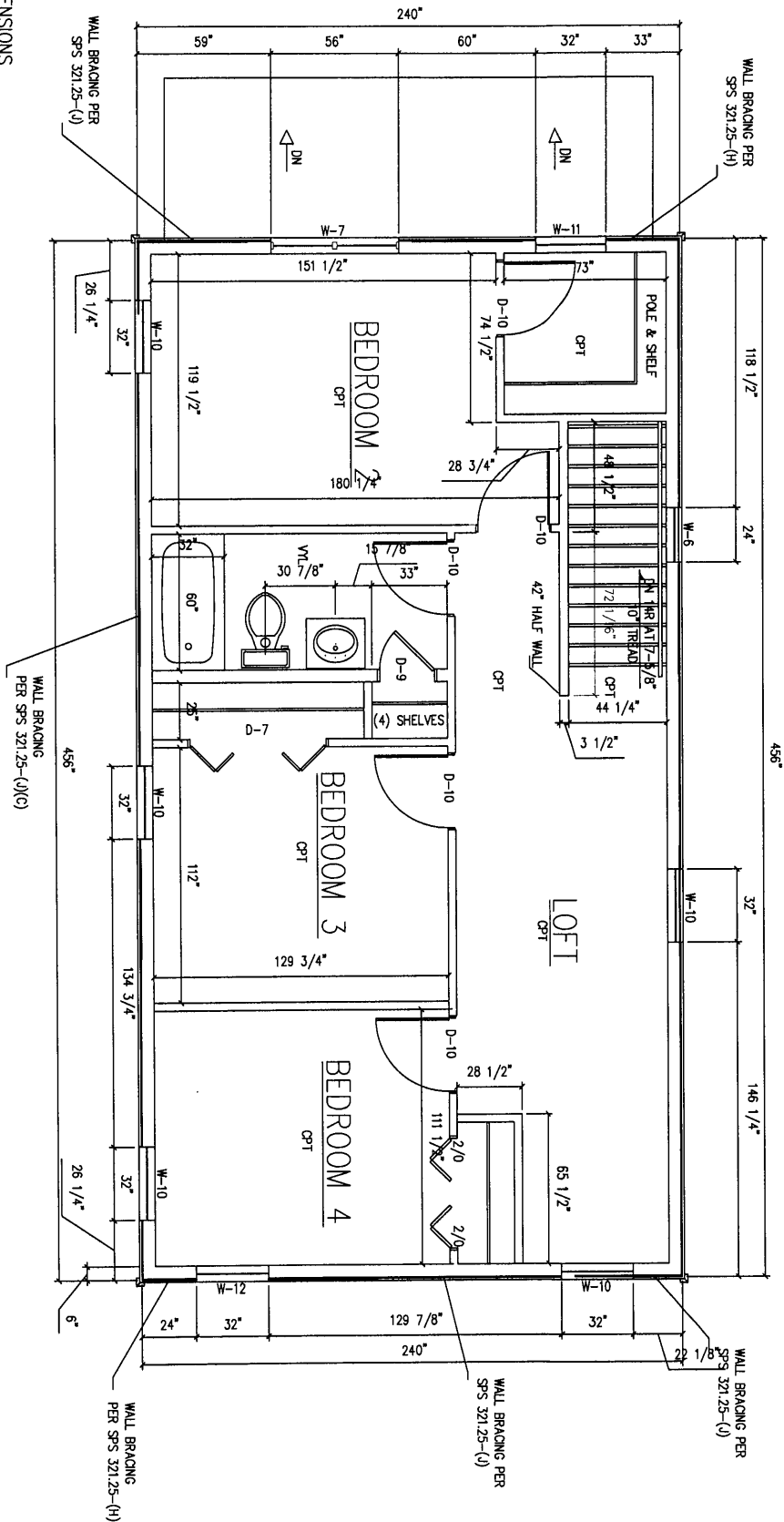
1 FIRST FLOOR PLAN
201 SCALE: 1/4"=1'-0"

KAISER II LEFT

These plans are the property of Milwaukee Habitat for Humanity, Inc.. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

DATE: 11/10/23

NOTE: DIMENSIONS SHOWN ARE ROUGH FRAMING DIMENSIONS, STUD TO STUD.



1 SECOND FLOOR PLAN
 202 SCALE: 1/4" = 1'-0"

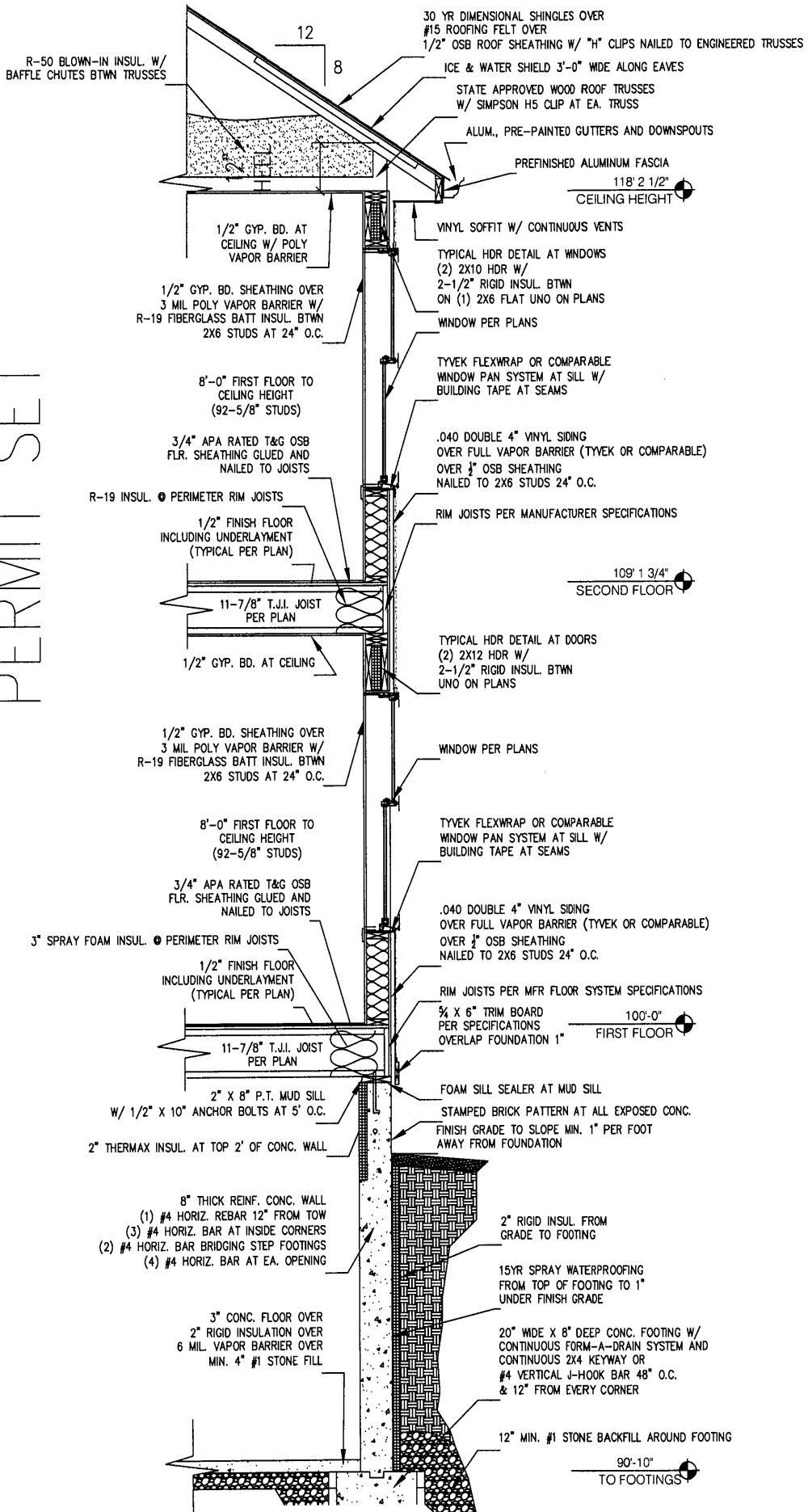
DENOTES WALL BRACING PER SPS

KAISER II LEFT

These plans are the property of Milwaukee Habitat for Humanity, Inc. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

DATE: 11/10/23

PERMIT SET



KAISER II MODEL

These plans are the property of Milwaukee Habitat for Humanity, Inc. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

DATE: 11/10/2023

STRUCTURAL NOTES:

All construction is intended to meet or exceed the Wisconsin Residential Building Code (Comm. 20 - 25). Refer to this code for any typical connections, member size, or detail not specifically shown.

Truss designer to use 30-9-9 @ 15% for minimum loadings and shall include required unbalanced loads and shall anticipate drift loads as required. Truss designer shall be responsible for all truss to truss connection designs. SIMPSON H5 TIES MUST BE USED AT THE END OF EVERY TRUSS.

Provide two studs minimum at all beam bearing locations.

Install all TJI joists in accordance with the manufacturers instructions. Provide all required accessories and hardware including bridging, rim joists and blocking.

LOADS:

Roof Snow: 30 psf

Reduced Snow Load: 27.23 psf (slopes 8/12 or steeper)

Roof Dead Load: 18 psf

Floor Live Loads: 40 psf

Second Floor Dead Load: 18 psf (includes ceramic tile)

First Floor Dead Load: 10 psf

Wind Load: 20 psf

Wind Uplift: 20 psf

Soil Pressure: 2000 psf presumed (contractor to verify)

Frost Protection: 48" min.

GENERAL NOTES:

Provide handrail at every stairway of more than (3) risers for the full length of the stairway (interior or exterior).

Provide guardrails on all decks more than 24" from grade or finish floor (interior or exterior).

Provide tempered safety glazing on all windows near stairs or within a bathroom.

Install interconnected smoke detectors hardwired with battery backup as required per code.

Provide pressure treated lumber for all exterior framing or framing in contact with concrete or exposed to weather elements.

Provide all bathrooms with exhaust fan with minimum capacity of 50CFM per minute.

Provide security hardware at windows as required per Ch 217 - Milwaukee Code of Ordinances.

Provide proper discharge of downspouts per all applicable codes.

MATERIALS:

Concrete Strength: 3000 psi @ 48 days.

Wood Members: SPF#2 or better.

Provide treated lumber at all locations in contact with concrete or soil.

Steel Beams: A992 Grade 50 Steel

Columns: Steel Tube Grade 46 Steel

Base Plates: A36 Grade Steel

Anchor Bolts: A36 or Expansion type.

PERMIT SET



NOTES

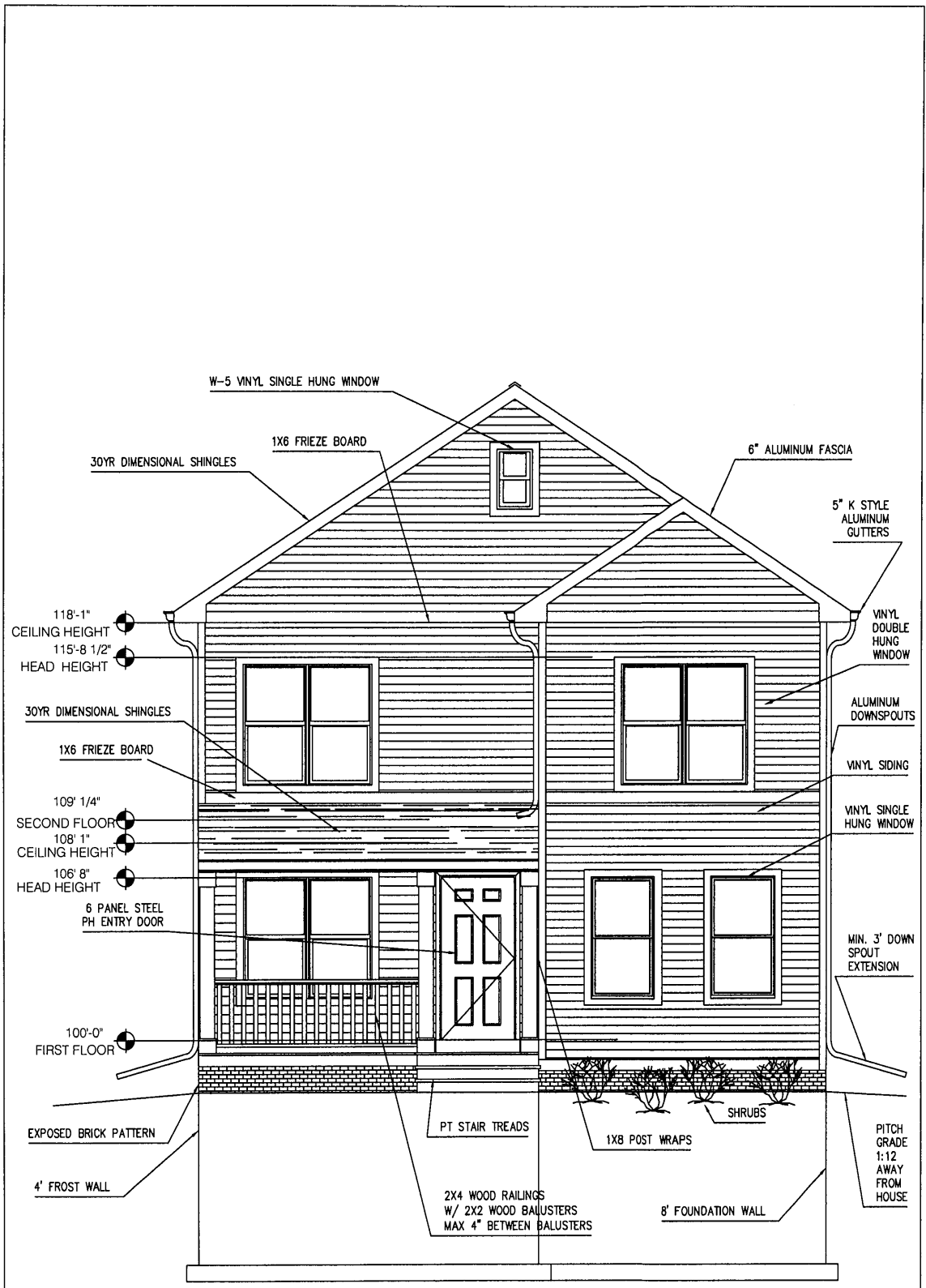
SCALE: N-T-S

KAISER II MODEL

These plans are the property of Milwaukee Habitat for Humanity, Inc. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

SHEET NO. A400

DATE: 11/10/2023



1 FRONT ELEVATION
 A100 SCALE: 1/4"=1'-0"

Development/Logos/2D/Horizontal Logos/Model_A100_2018

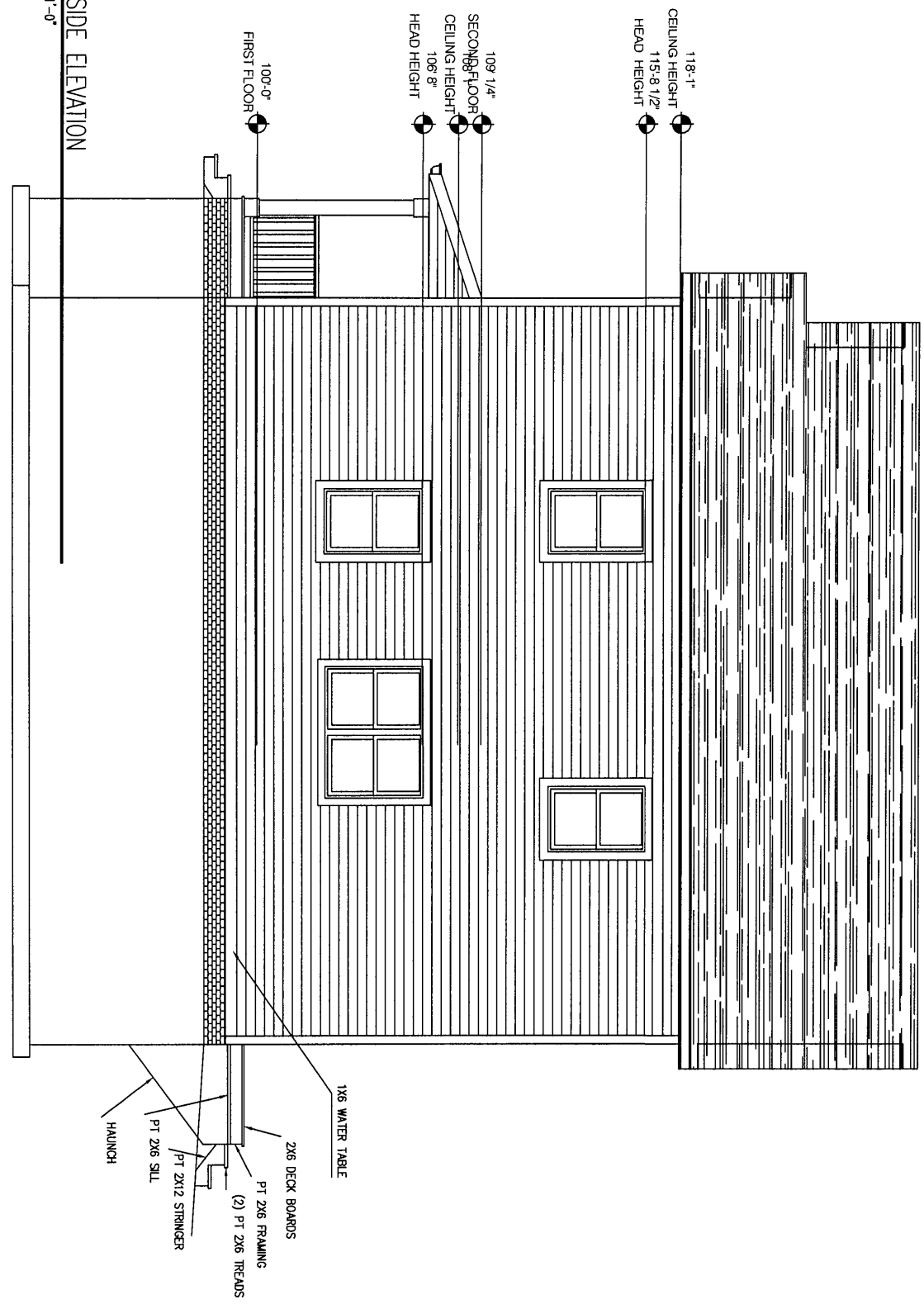
WILLOW LEFT MODEL
 ADDRESS: 2604 W LLOYD ST
 CITY OF: MILWAUKEE, WISCONSIN
 HOUSE NO.: 653

These plans are the property of Milwaukee Habitat for Humanity, Inc.. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

SHEET NO. A100
 DATE: 2-16-18

1
A101

RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



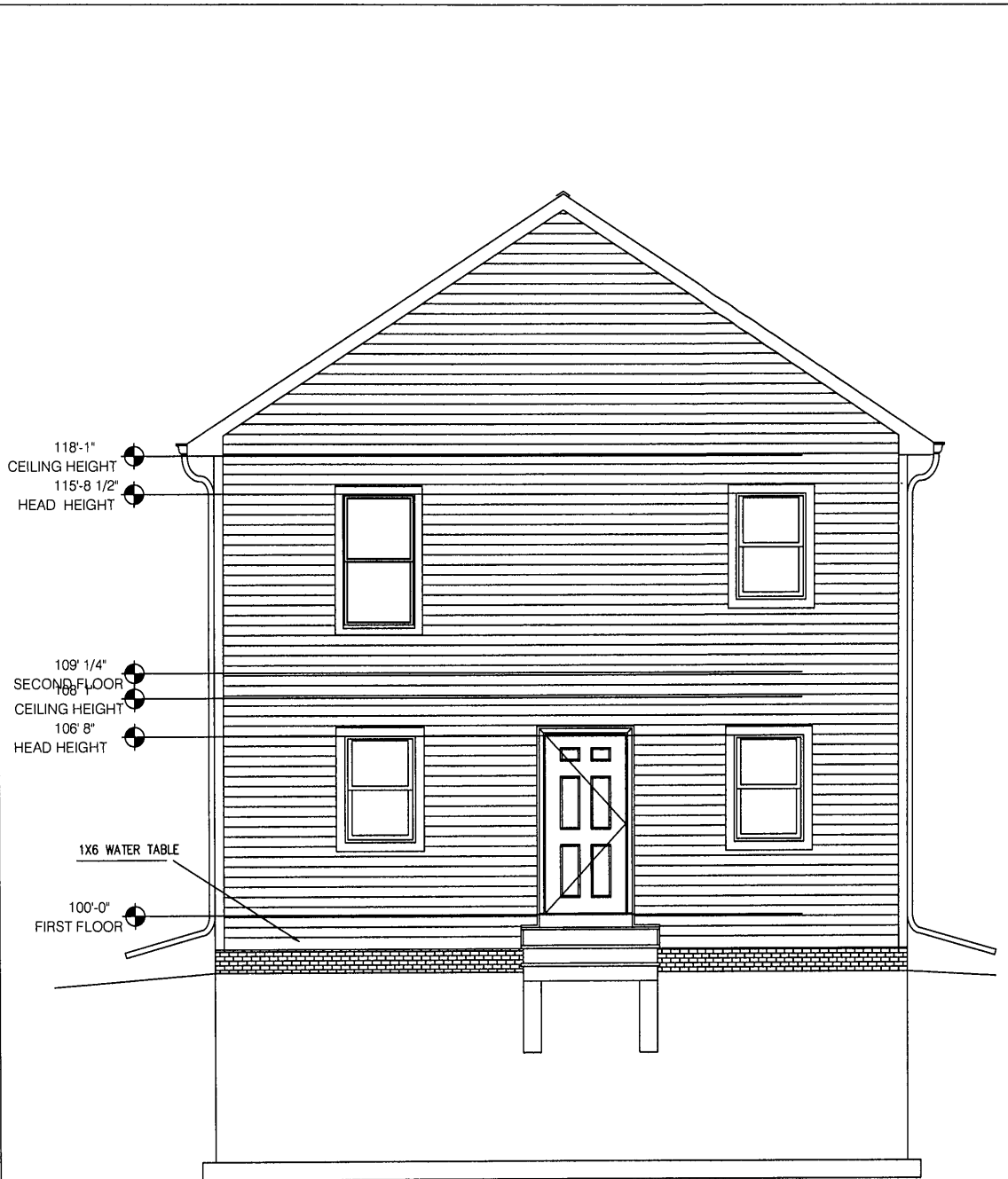
WILLOW LEFT MODEL

ADDRESS: 2604 W LLOYD ST
CITY OF: MILWAUKEE, WISCONSIN
HOUSE NO.: 653

These plans are the property of Milwaukee Habitat for Humanity, Inc. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

SHEET NO. A101

DATE: 3-18-16



1 REAR ELEVATION
 A103 SCALE: 1/4"=1'-0"

PERMIT SET

WILLOW LEFT MODEL

ADDRESS: 2604 W LLOYD ST
 CITY OF: MILWAUKEE, WISCONSIN
 HOUSE NO.: 653

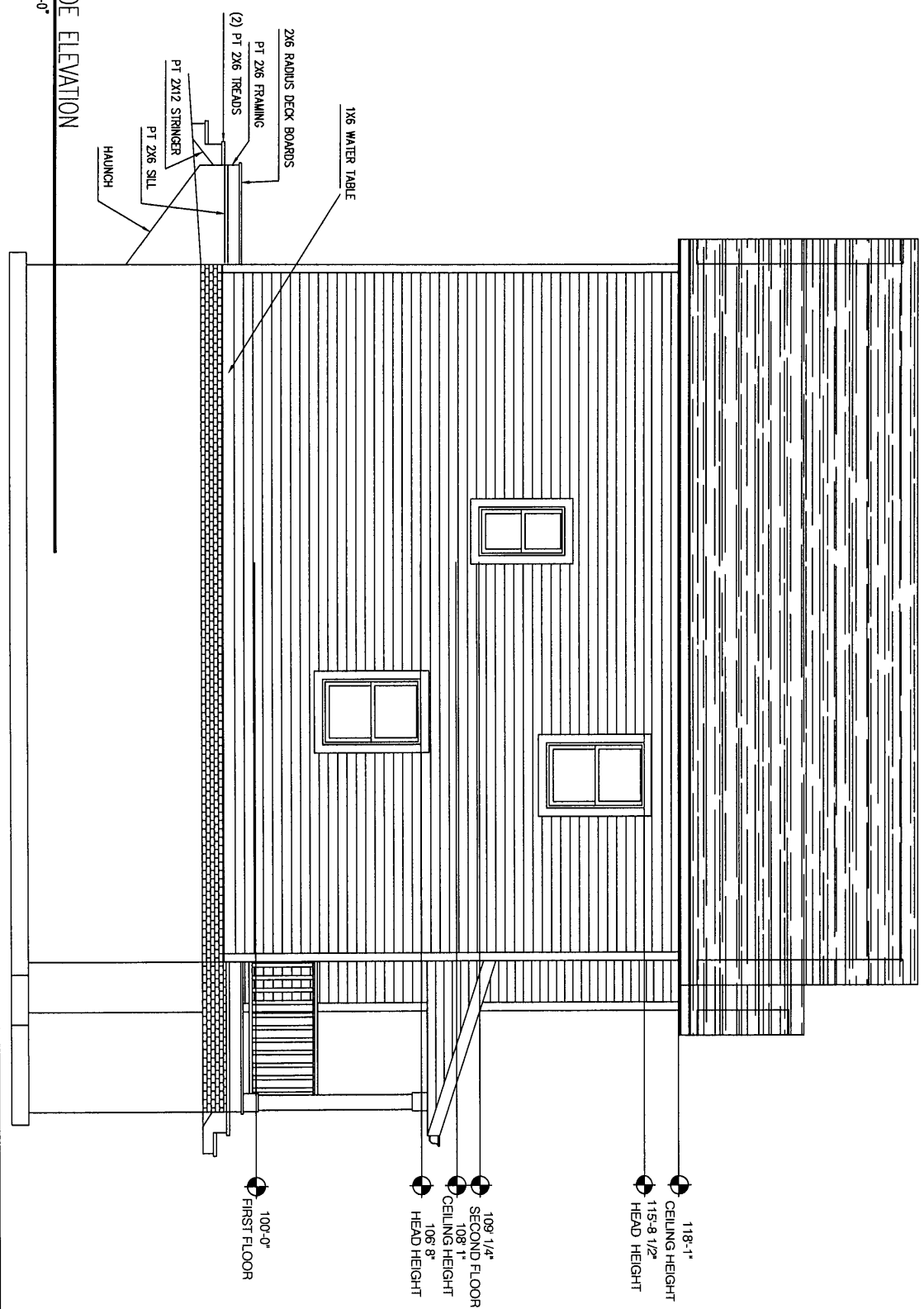
These plans are the property of Milwaukee Habitat for Humanity, Inc.. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

SHEET NO. A103

DATE: 2-16-18

1
A102

LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



WILLOW LEFT MODEL

ADDRESS: 2604 W LLOYD ST
CITY OF: MILWAUKEE, WISCONSIN
HOUSE NO.: 653

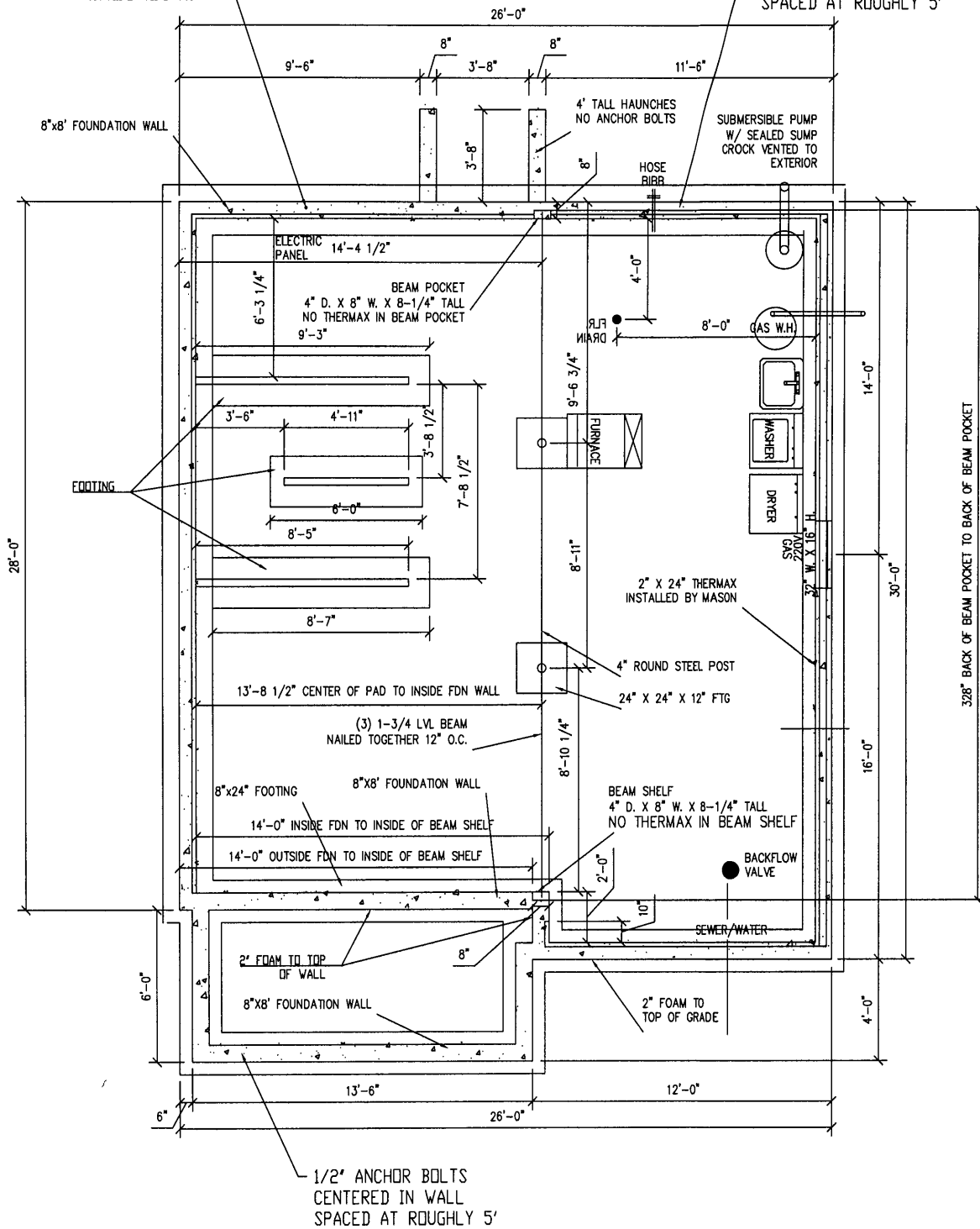
These plans are the property of Milwaukee Habitat for Humanity, Inc. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

SHEET NO. A102

DATE: 2-16-15

EXTEND REBAR
8" ABOVE T.O.W.
FOR ELECTRICAL
GROUNDING

1/2" ANCHOR BOLTS
CENTERED IN WALL
SPACED AT ROUGHLY 5'



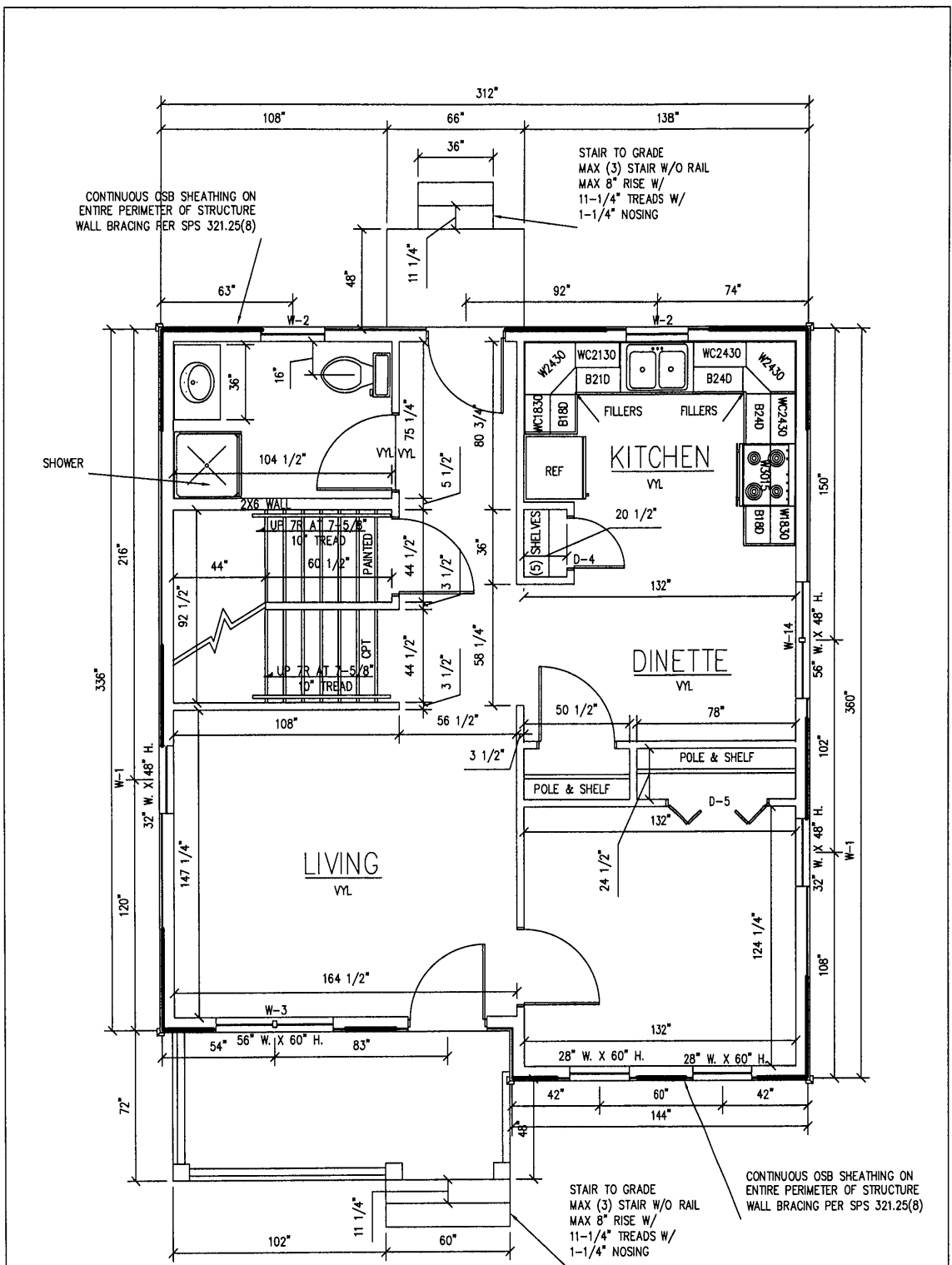
1 FOUNDATION PLAN
A200 SCALE: 1/4"=1'-0"

WILLOW LEFT

ADDRESS: 2604 W LLOYD ST
CITY OF: MILWAUKEE, WISCONSIN
HOUSE NO.: 653

These plans are the property of Milwaukee Habitat for Humanity, Inc. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

DATE: 1/16/19



CONTINUOUS OSB SHEATHING ON ENTIRE PERIMETER OF STRUCTURE WALL BRACING PER SPS 321.25(8)

STAIR TO GRADE
MAX (3) STAIR W/O RAIL
MAX 8" RISE W/
11-1/4" TREADS W/
1-1/4" NOSING

SHOWER

KITCHEN

DINETTE

LIVING

STAIR TO GRADE
MAX (3) STAIR W/O RAIL
MAX 8" RISE W/
11-1/4" TREADS W/
1-1/4" NOSING

CONTINUOUS OSB SHEATHING ON ENTIRE PERIMETER OF STRUCTURE WALL BRACING PER SPS 321.25(8)

— DENOTES WALL BRACING PER SPS

NOTE: DIMENSIONS SHOWN ARE ROUGH FRAMING DIMENSIONS. STUD TO STUD.

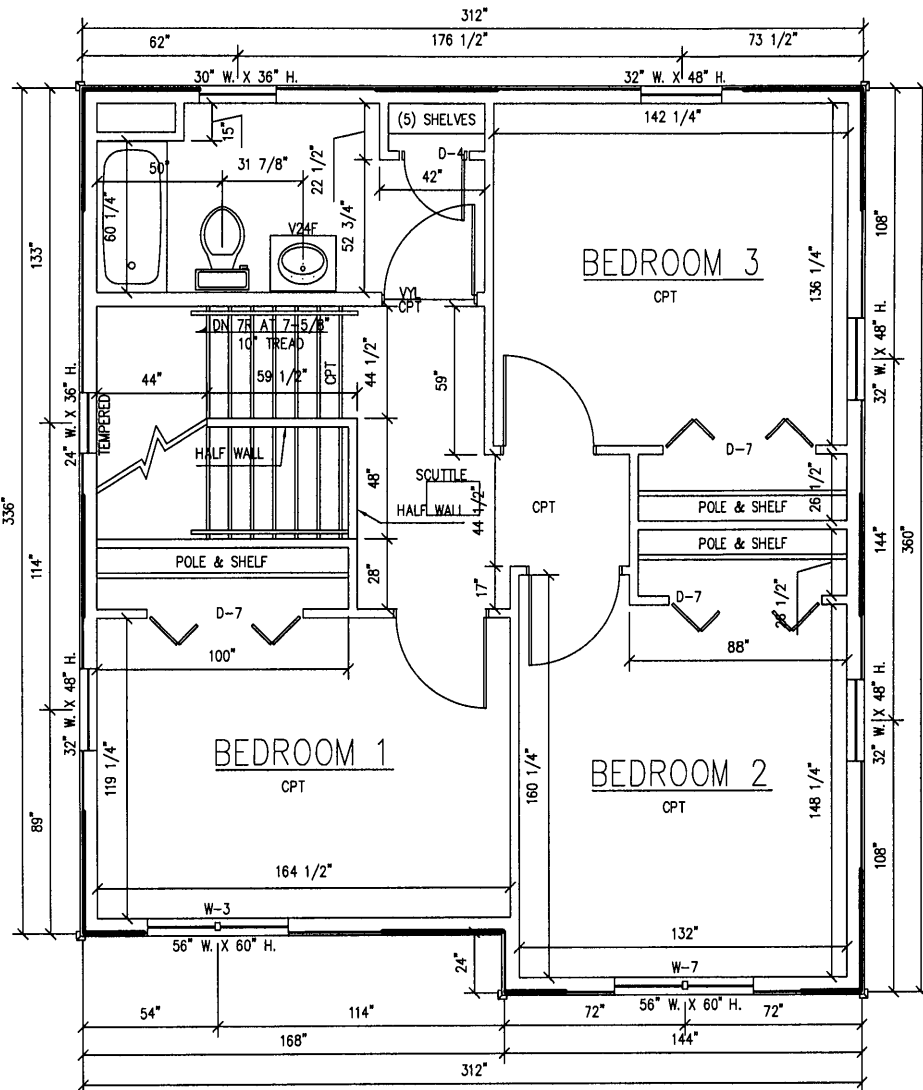
1 FIRST FLOOR
A201 SCALE: 1/4"=1'-0"

WILLOW LEFT MODEL

ADDRESS: 2604 W LLOYD ST
CITY OF: MILWAUKEE, WISCONSIN
HOUSE NO.: 653

These plans are the property of Milwaukee Habitat for Humanity, Inc. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

DATE: 2-7-19



NOTE: DIMENSIONS SHOWN ARE ROUGH FRAMING DIMENSIONS. STUD TO STUD.

1 SECOND FLOOR
 A202 SCALE: 1/4"=1'-0"

— DENOTES WALL BRACING PER SPS

PERMIT SET

WILLOW LEFT MODEL

Handprint Logo, LLC
 1000 Lakeshore Blvd. N., Suite 100
 Minneapolis, MN 55412

ADDRESS: 2604 W LLOYD ST
 CITY OF: MILWAUKEE, WISCONSIN
 HOUSE NO.: 653

These plans are the property of Milwaukee Habitat for Humanity, Inc.. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

SHEET NO. A202

DATE 2-16-15

STRUCTURAL NOTES:

All construction is intended to meet or exceed the Wisconsin Residential Building Code (Comm. 20 - 25). Refer to this code for any typical connections, member size, or detail not specifically shown.

Truss designer to use 30-9-9 @ 15% for minimum loadings and shall include required unbalanced loads and shall anticipate drift loads as required. Truss designer shall be responsible for all truss to truss connection designs. SIMPSON H5 TIES MUST BE USED AT THE END OF EVERY TRUSS.

Provide two studs minimum at all beam bearing locations.

Install all TJI joists in accordance with the manufacturers instructions. Provide all required accessories and hardware including bridging, rim joists and blocking.

LOADS:

- Roof Snow: 30 psf
- Reduced Snow Load: 27.23 psf (slopes 8/12 or steeper)
- Roof Dead Load: 18 psf
- Floor Live Loads: 40 psf
- Second Floor Dead Load: 18 psf (includes ceramic tile)
- First Floor Dead Load: 10 psf
- Wind Load: 20 psf
- Wind Uplift: 20 psf
- Soil Pressure: 2000 psf presumed (contractor to verify)
- Frost Protection: 48" min.

MATERIALS:

- Concrete Strength: 3000 psi @ 48 days.
- Wood Members: SPF#2 or better.
- Provide treated lumber at all locations in contact with concrete or soil.
- Steel Beams: A992 Grade 50 Steel
- Columns: Steel Tube Grade 46 Steel
- Base Plates: A36 Grade Steel
- Anchor Bolts: A36 or Expansion type.



STRUCTURAL NOTES

SCALE: N-T-S

GENERAL NOTES:

- Provide handrail at every stairway of more than (3) risers for the full length of the stairway (interior or exterior).
- Provide guardrails on all decks more than 24" from grade or finish floor (interior or exterior).
- Provide tempered safety glazing on all windows near stairs or within a bathroom if required.
- Install interconnected smoke detectors hardwired with battery backup as required per code.
- Provide pressure treated lumber for all exterior framing or framing in contact with concrete or exposed to weather elements.
- Provide all bathrooms with exhaust fan with minimum capacity of 50CFM per minute.
- Provide security hardware at windows as required per Ch 217 - Milwaukee Code of Ordinances.
- Provide proper discharge of downspouts per all applicable codes.



GENERAL NOTES

SCALE: N-T-S

PERMIT SET

Wisconsin Department of Transportation

WILLOW HOUSE MODEL

ADDRESS: 2604 W LLOYD ST
CITY OF: MILWAUKEE, WISCONSIN
HOUSE NO.: 653

These plans are the property of Milwaukee Habitat for Humanity, Inc.. All rights reserved. No reproduction without expressed written permission from Milwaukee Habitat for Humanity, Inc.

DATE: 2-16-15